



**GENERAL DEMOLITION NOTES**

**A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.**

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANS110.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE, ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES).
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

**B. CUTTING AND PATCHING**

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

**C. M.E.P. DEMOLITION NOTES**

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

**D. CLEANING**

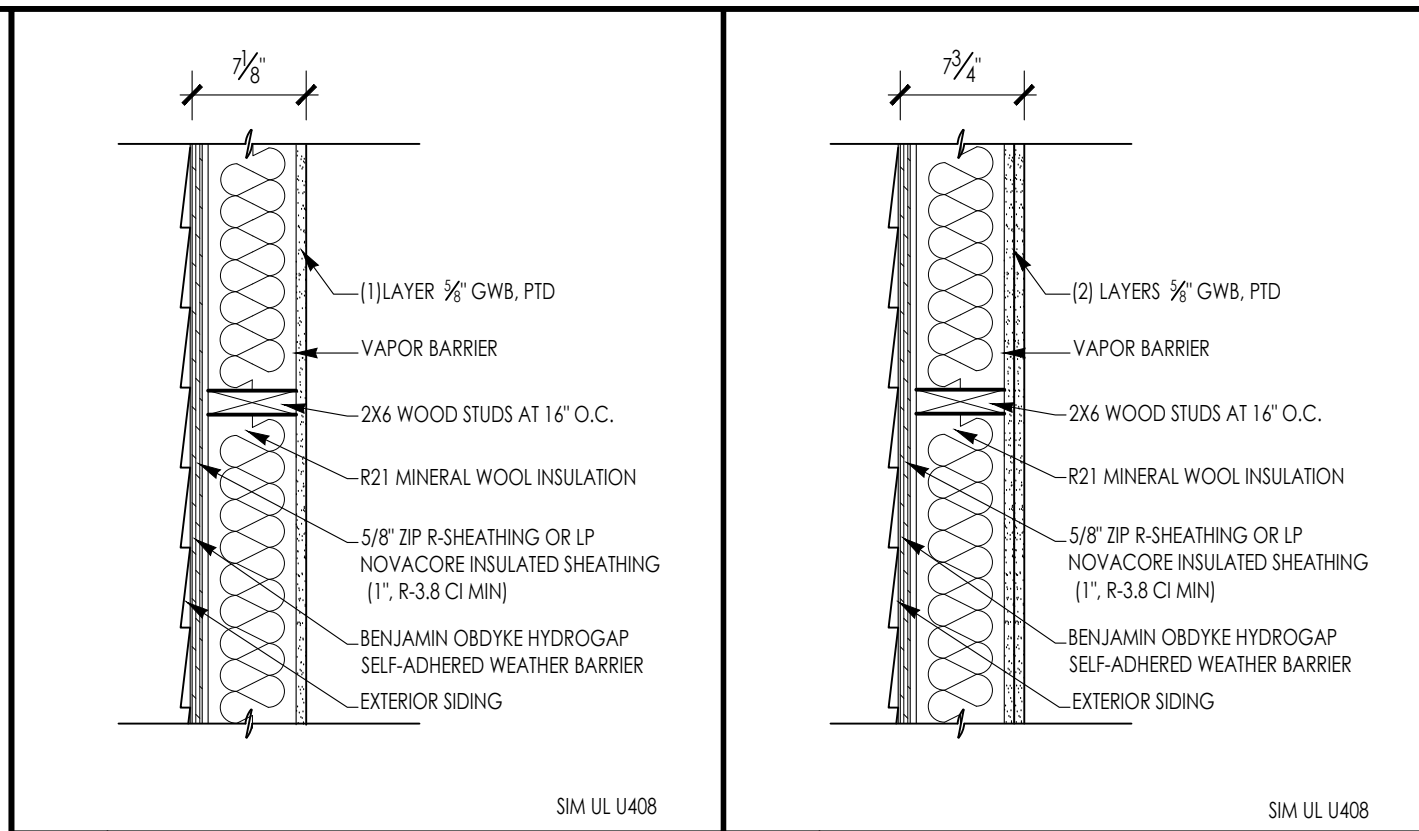
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

**OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS**

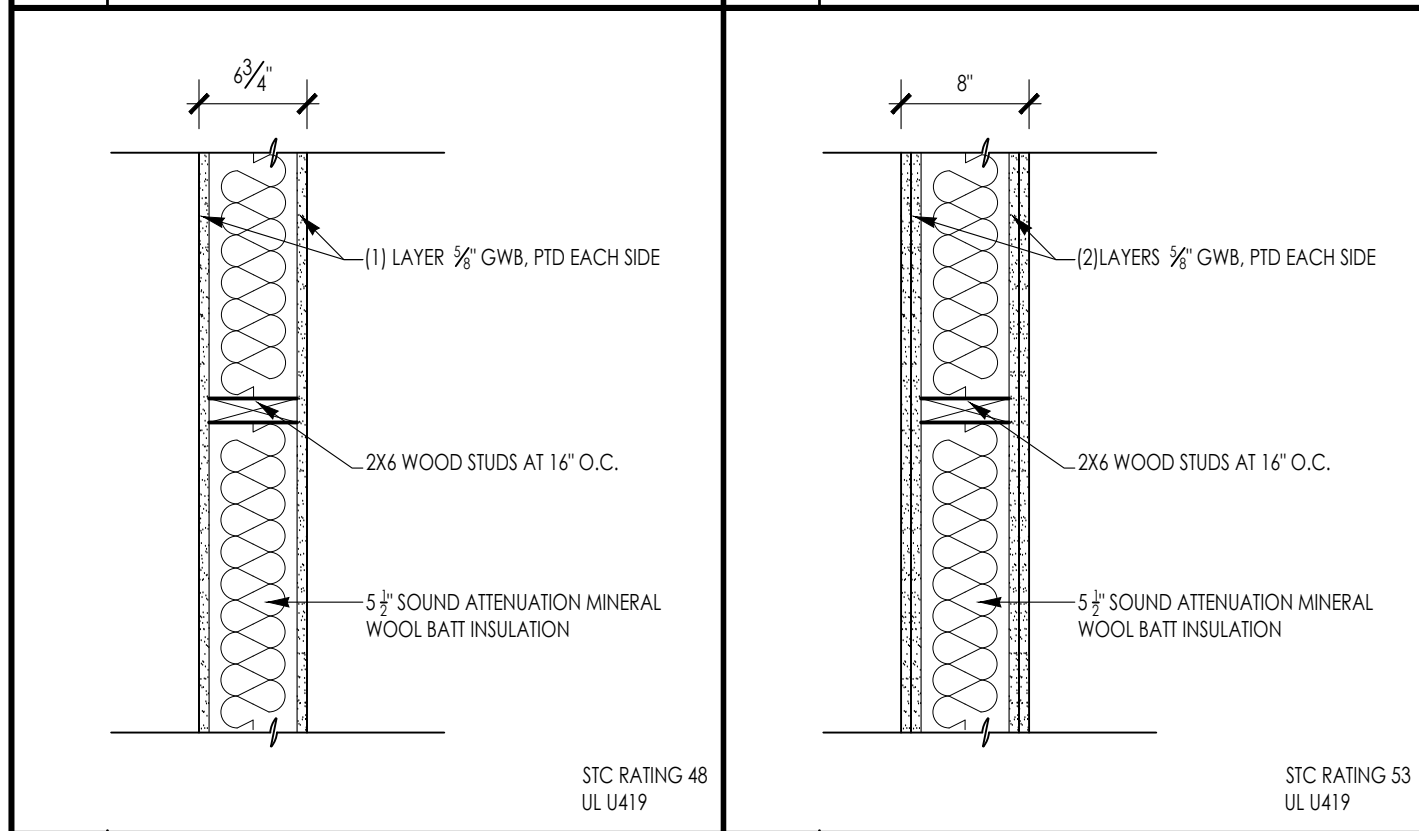
- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC. TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

**GENERAL CONSTRUCTION NOTES**

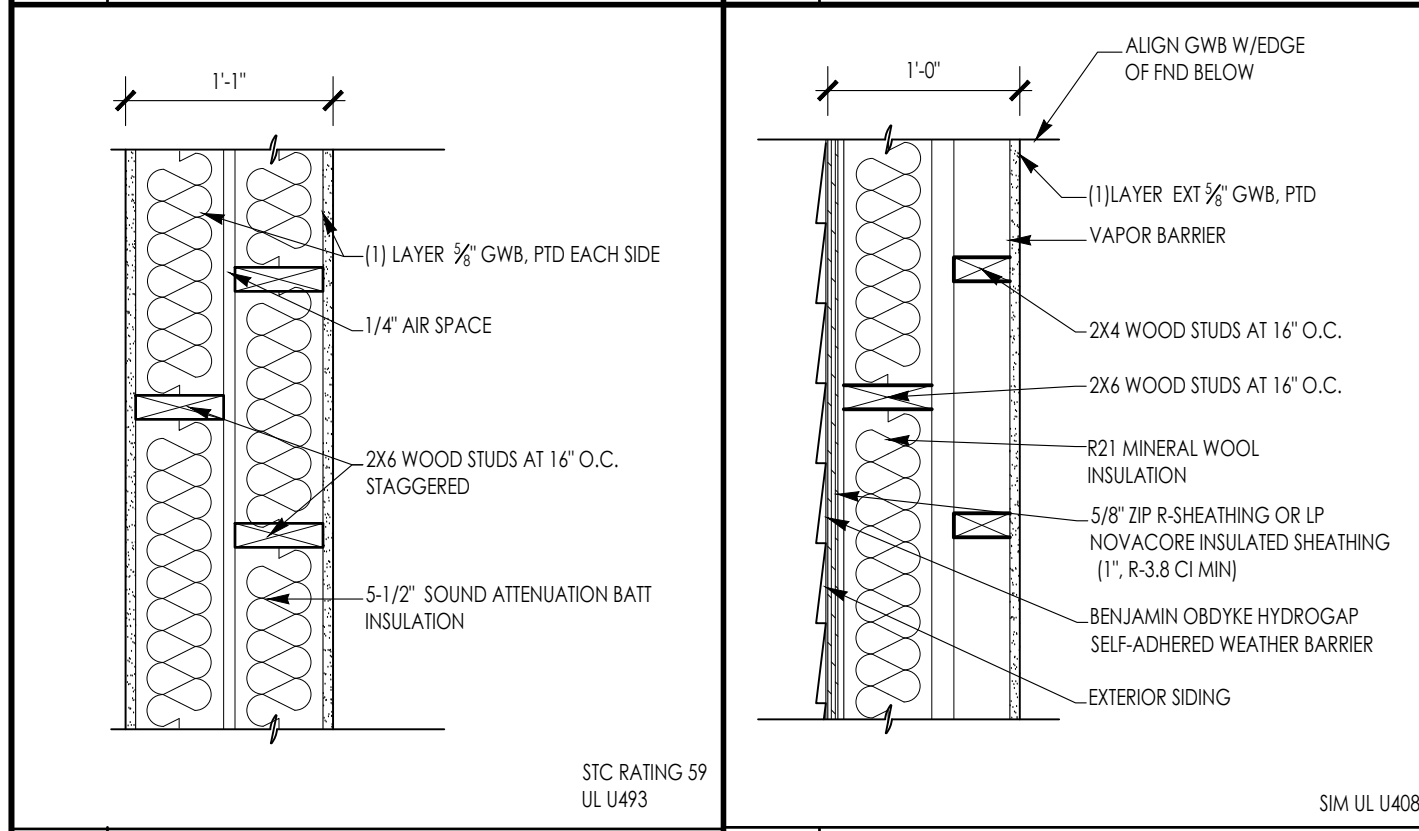
- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



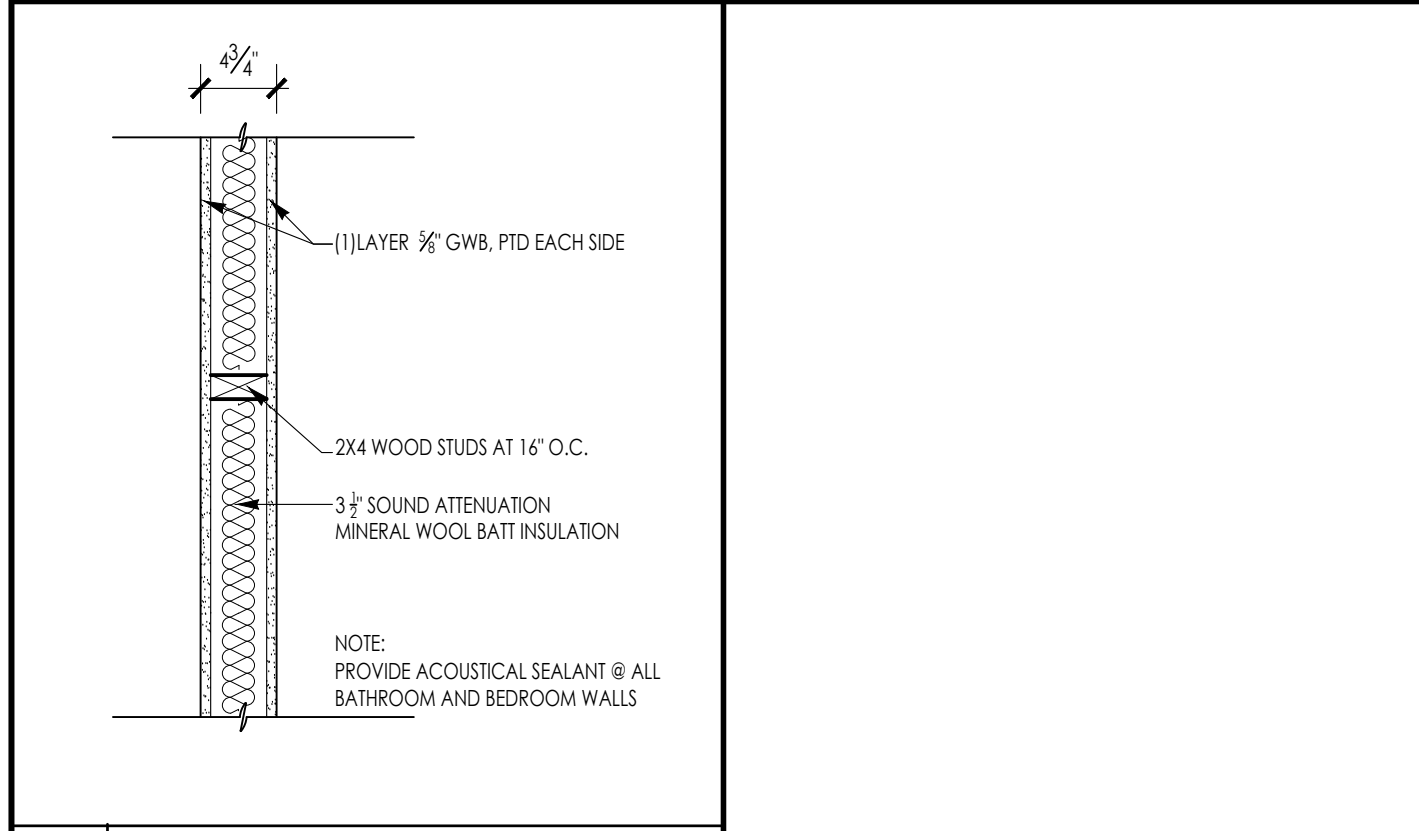
**A1** EXTERIOR WALL ASSEMBLY - 1 HOUR RATED  
SCALE: 1" = 1'-0"



**B1** INTERIOR WALL ASSEMBLY - 1 HOUR RATED  
SCALE: 1" = 1'-0"



**C1** INTERIOR & CHASE WALL ASSEMBLY  
SCALE: 1" = 1'-0"



**D** INTERIOR WALL  
SCALE: 1" = 1'-0"

**BUILDING INFORMATION:**

GROUP: IDES	R-2
USE GROUP:	V/A
CONSTRUCTION TYPE:	V/A
ALLOWABLE AREA:	36,000 GSF/FLOOR
ALLOWABLE HEIGHT:	4 STORIES/70'
SPRINKLERED:	YES
FIRE SEPARATION:	YES (1-HOUR)

**MINIMUM ENERGY CODE - VALUES - 2021 IECC W/MASS STRETCH CODE**

ATTC INSULATION	R-49
WALLS ABOVE GRADE	R-20 + R-3.8CI
WOOD FRAMED WALLS BELOW GRADE	R-10 CI
FLOORS MASS	R-30
JOISTS/FRAMING	R-30
SLAB ON GRADE FLOORS	R-20 FOR 2" BELOW
UNHEATED SLAB	U-0.36
FIXED PENETRATION	U-0.45
OPERABLE PENETRATION	U-0.63
ENTRANCE DOORS	U-0.46
SHGC - OPERABLE	0.54
FF-0.2	0.33
0.2PF-0.5	0.40
0.5-0PF	0.53
SHGC - FIXED	0.38
FF-0.2	0.46
0.2PF-0.5	0.46
0.5-PF	0.61

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ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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<input type="checkbox"/>	PERMIT	
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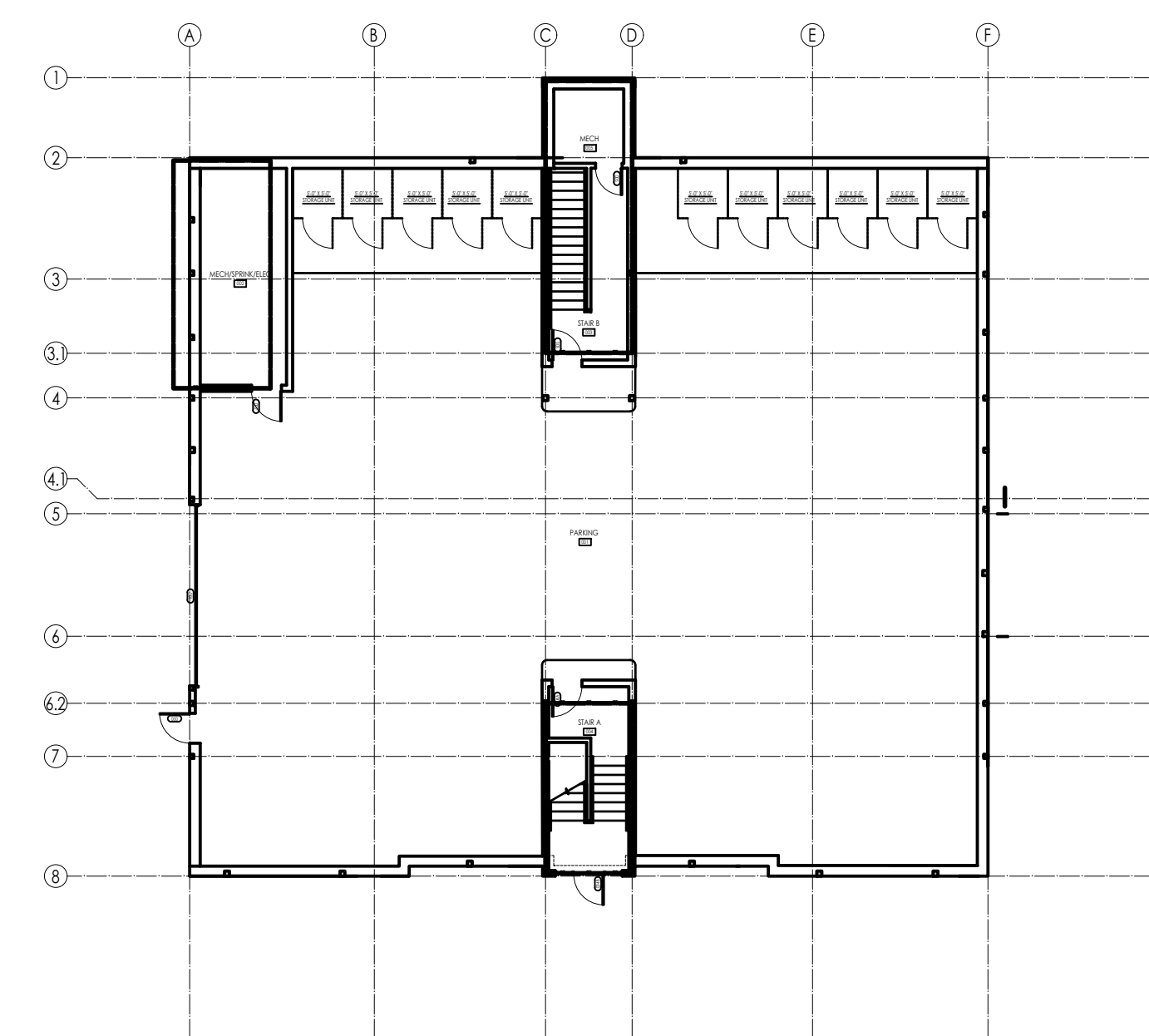
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REVISION DATE	

DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
**RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610**

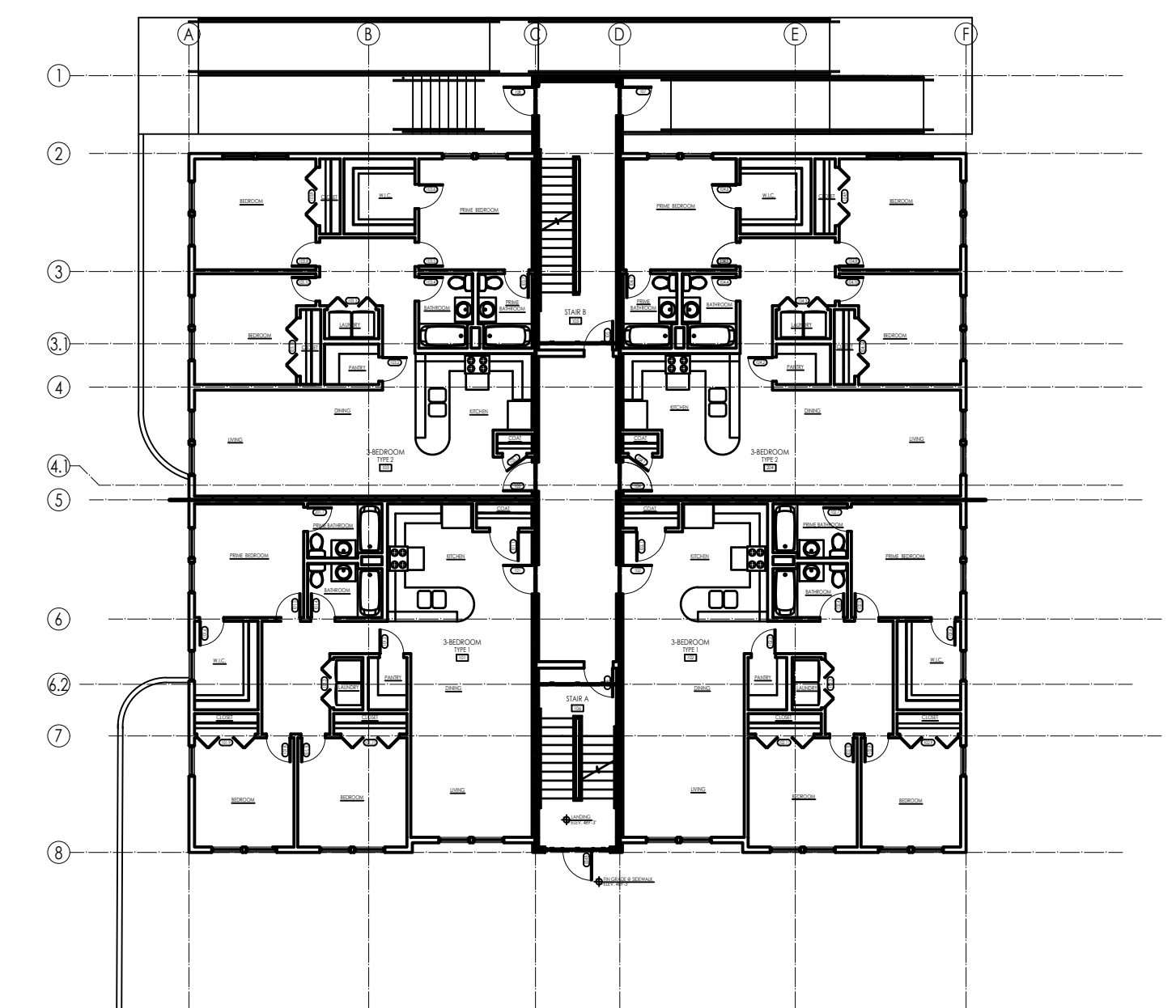
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 GENERAL NOTES & DETAILS

SHEET NUMBER:  
**T-1.1**



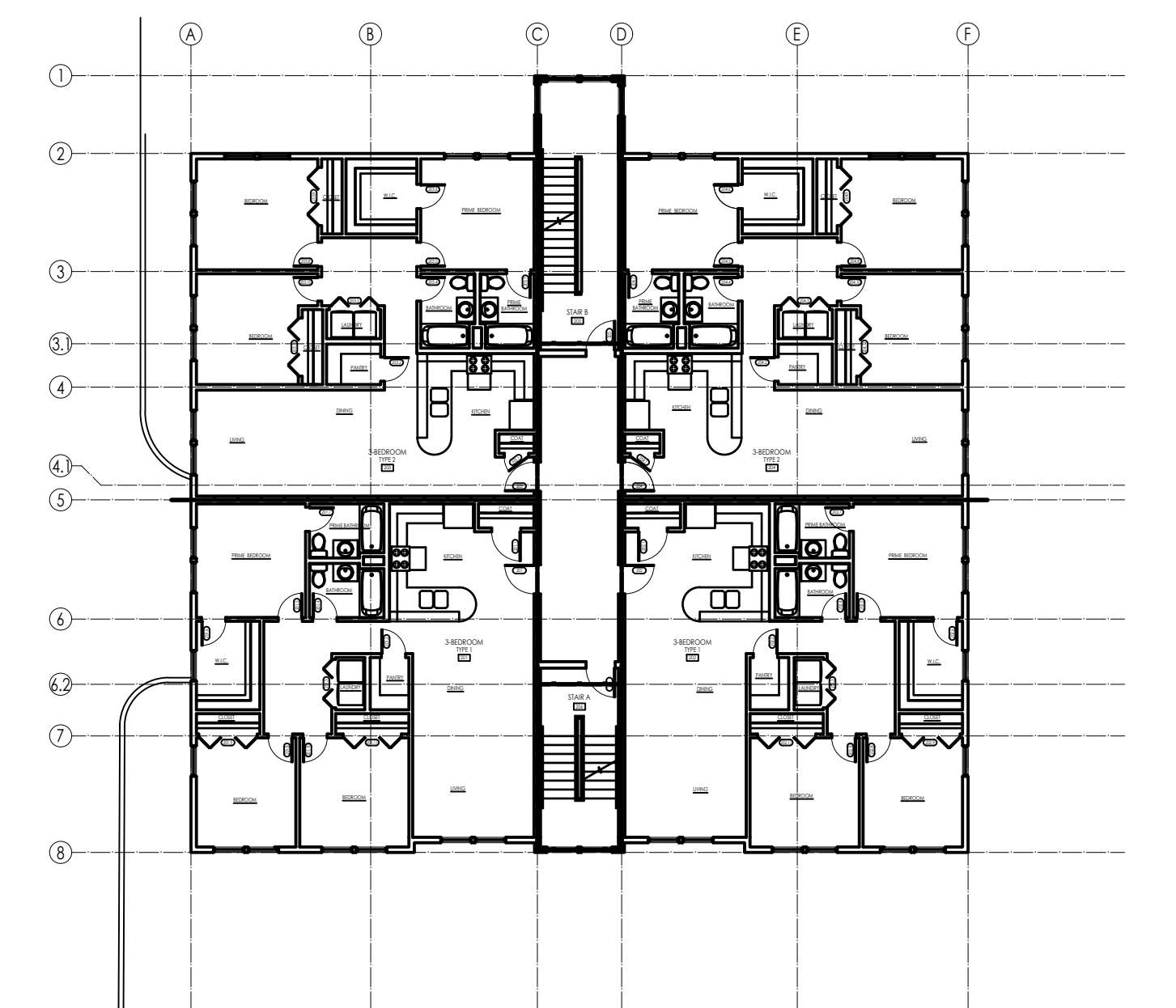
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2-HOUR FIRE RATING

**FIRST FLOOR FIRE RATINGS** 1  
SCALE: 1/16" = 1'-0" 1-1.1



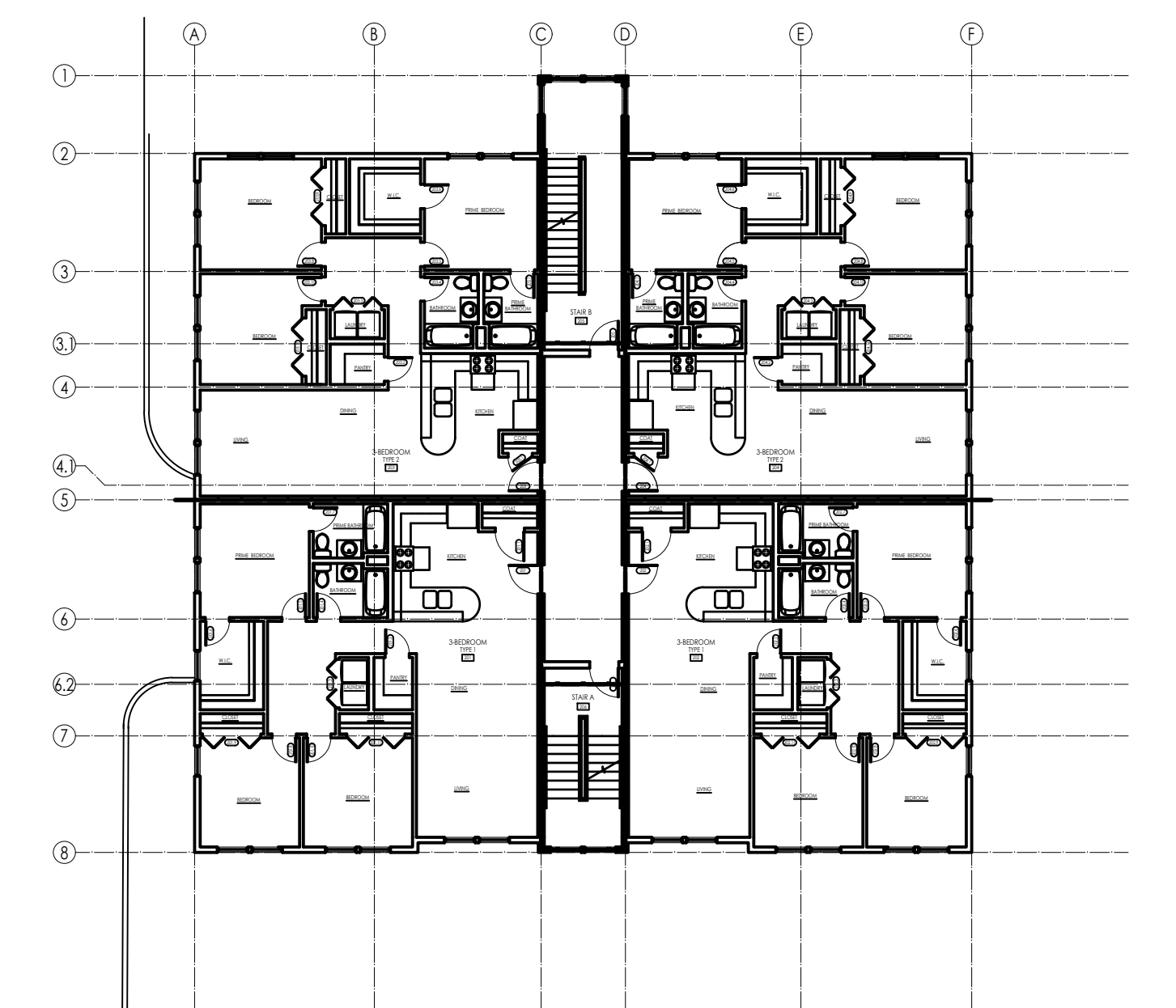
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**SECOND FLOOR FIRE RATINGS** 2  
SCALE: 1/16" = 1'-0" 1-1.1



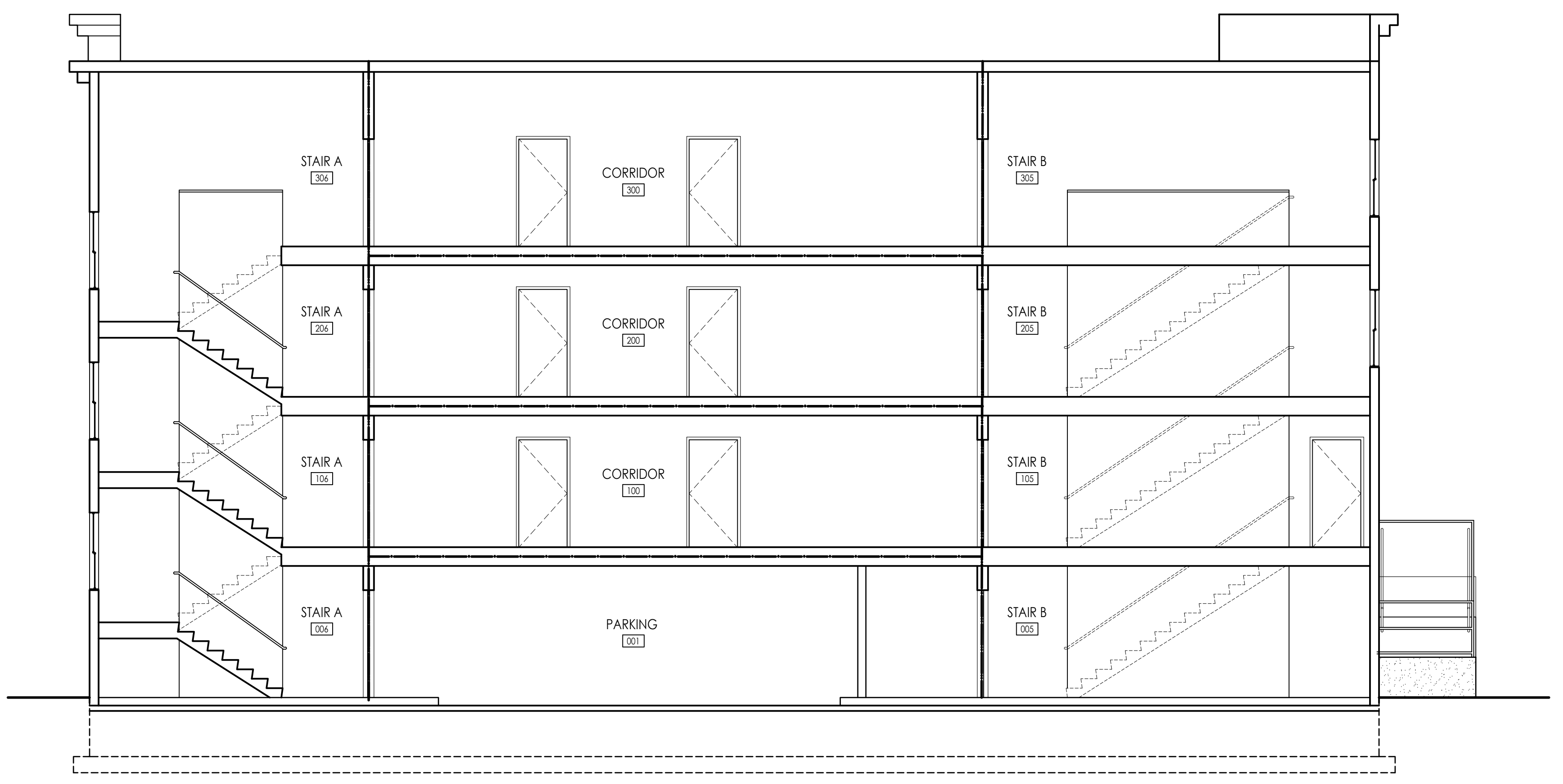
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2-HOUR FIRE RATING

**THIRD FLOOR FIRE RATINGS** 3  
SCALE: 1/16" = 1'-0" 1-1.1



1-HOUR FIRE RATING  
2-HOUR FIRE RATING

**FOURTH FLOOR FIRE RATINGS** 4  
SCALE: 1/16" = 1'-0" 1-1.1



1-HOUR FIRE RATING  
2-HOUR FIRE RATING

**FIRE RATING - SECTION** A  
SCALE: 3/16" = 1'-0" 1-1.1

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ARCHITECT'S STAMP:

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GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

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CHECKED:	JGH
PROJECT TITLE:	RESIDENTIAL BUILDING 11 PARKER WORCESTER, MA 01610

SHEET TITLE:  
FIRE RATINGS

SHEET NUMBER:  
**T-1.2**

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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DESIGN DEVELOPMENT	12.08.2023
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EXISTING CONDITIONS	

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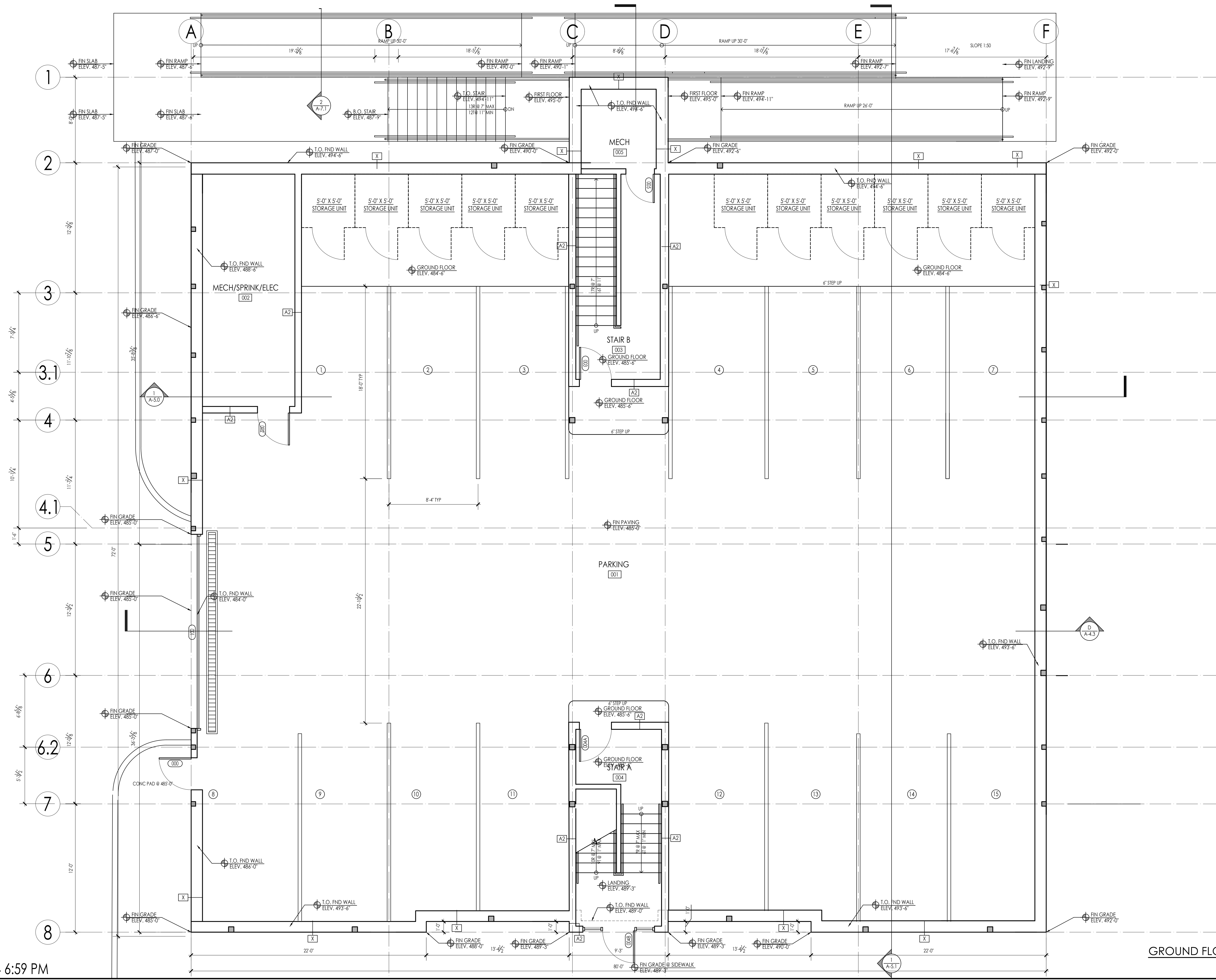
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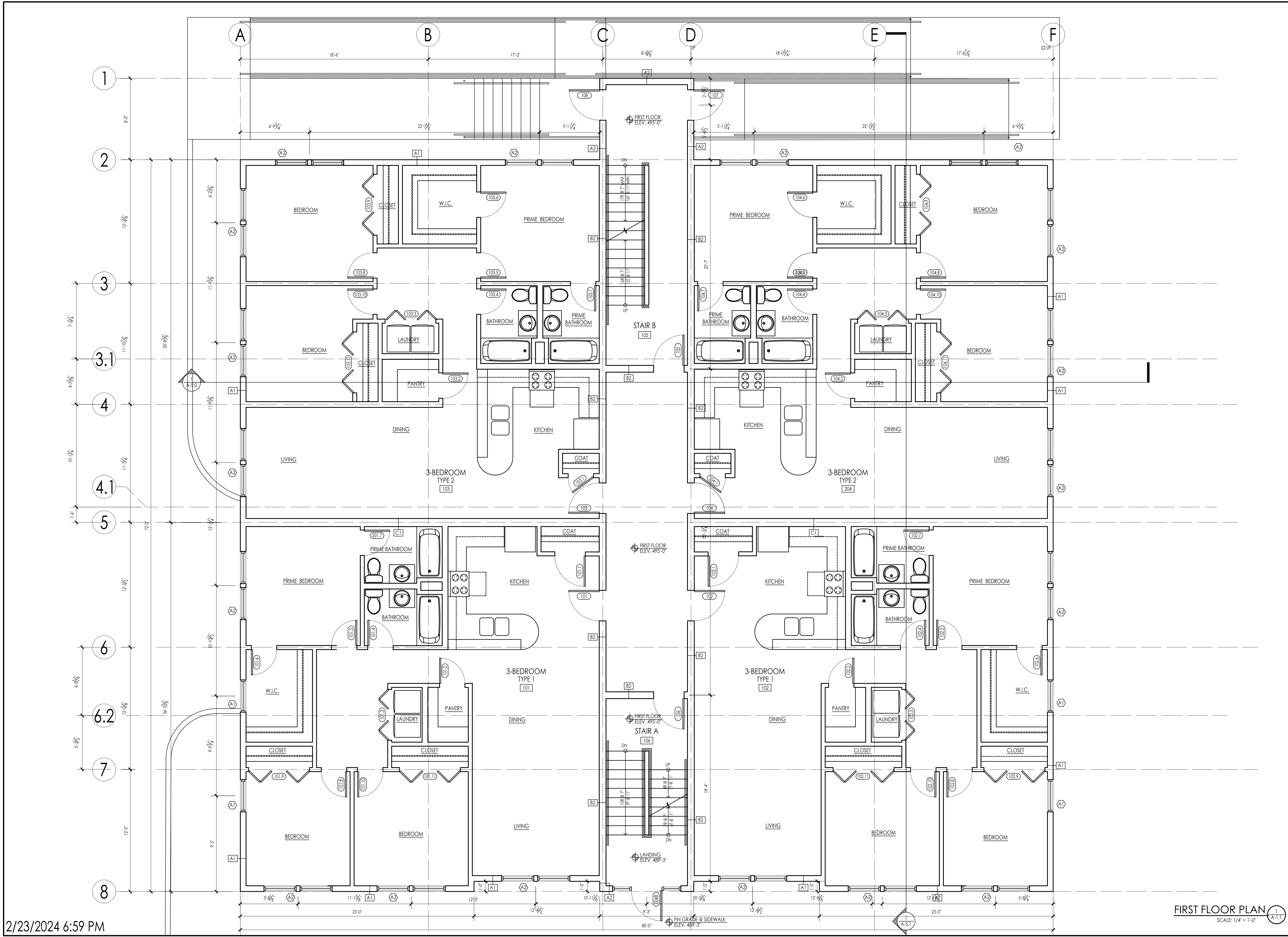
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 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 GROUND FLOOR PLAN

SHEET NUMBER:

**A-1.0**





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FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"







ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
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 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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	DESIGN DEVELOPMENT	12.08.2023
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NO.	REVISION DATE
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PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 FIRST FLOOR PLAN

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**A-1.1**

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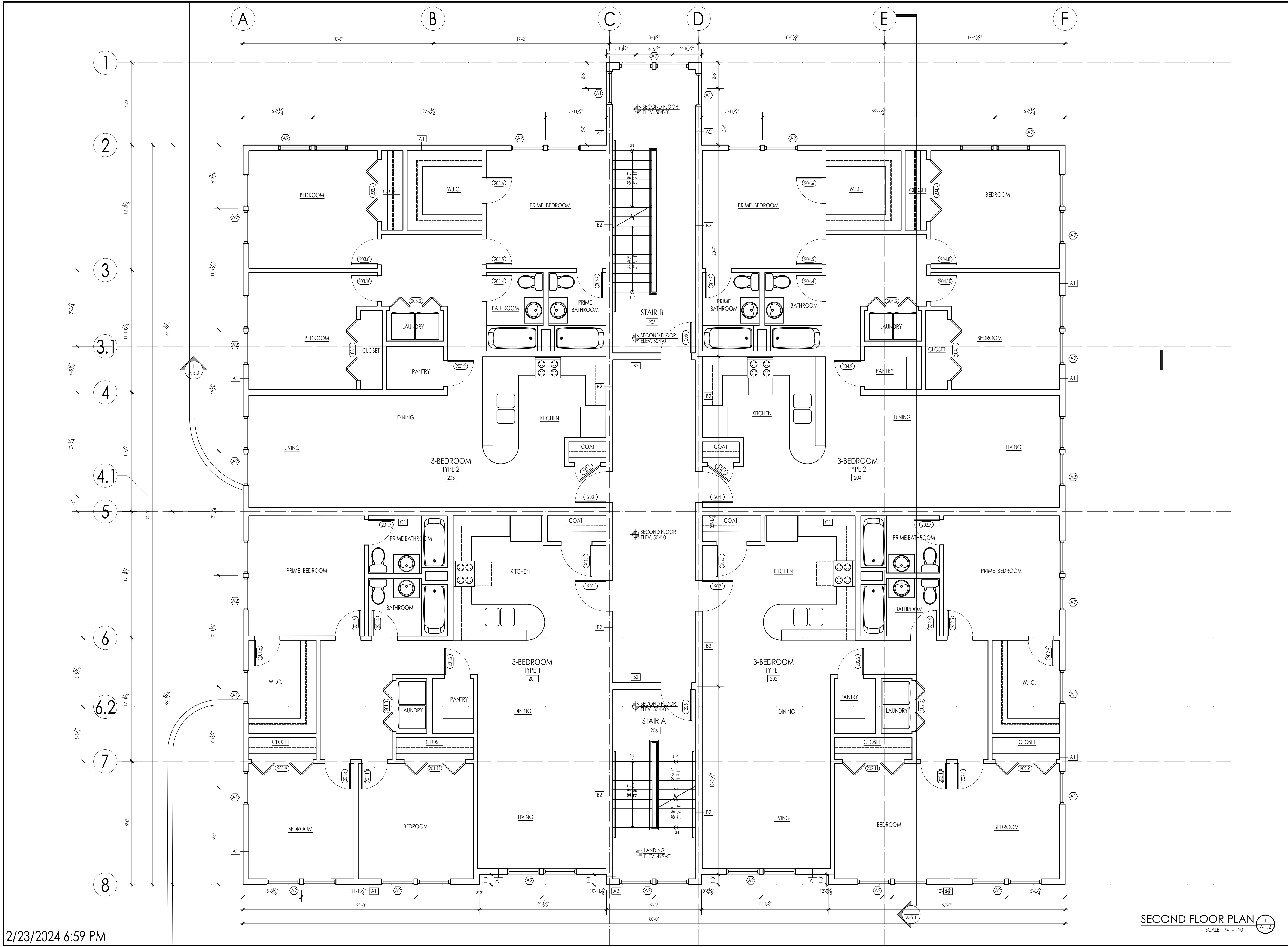
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SHEET TITLE:  
SECOND FLOOR PLAN

SHEET NUMBER:  
**A-1.2**



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GENERAL INFORMATION:

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	CONSTRUCTION	
	EXISTING CONDITIONS	

NO.	REVISION DATE
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DATE: 02.05.2024

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DRAWN: JGH

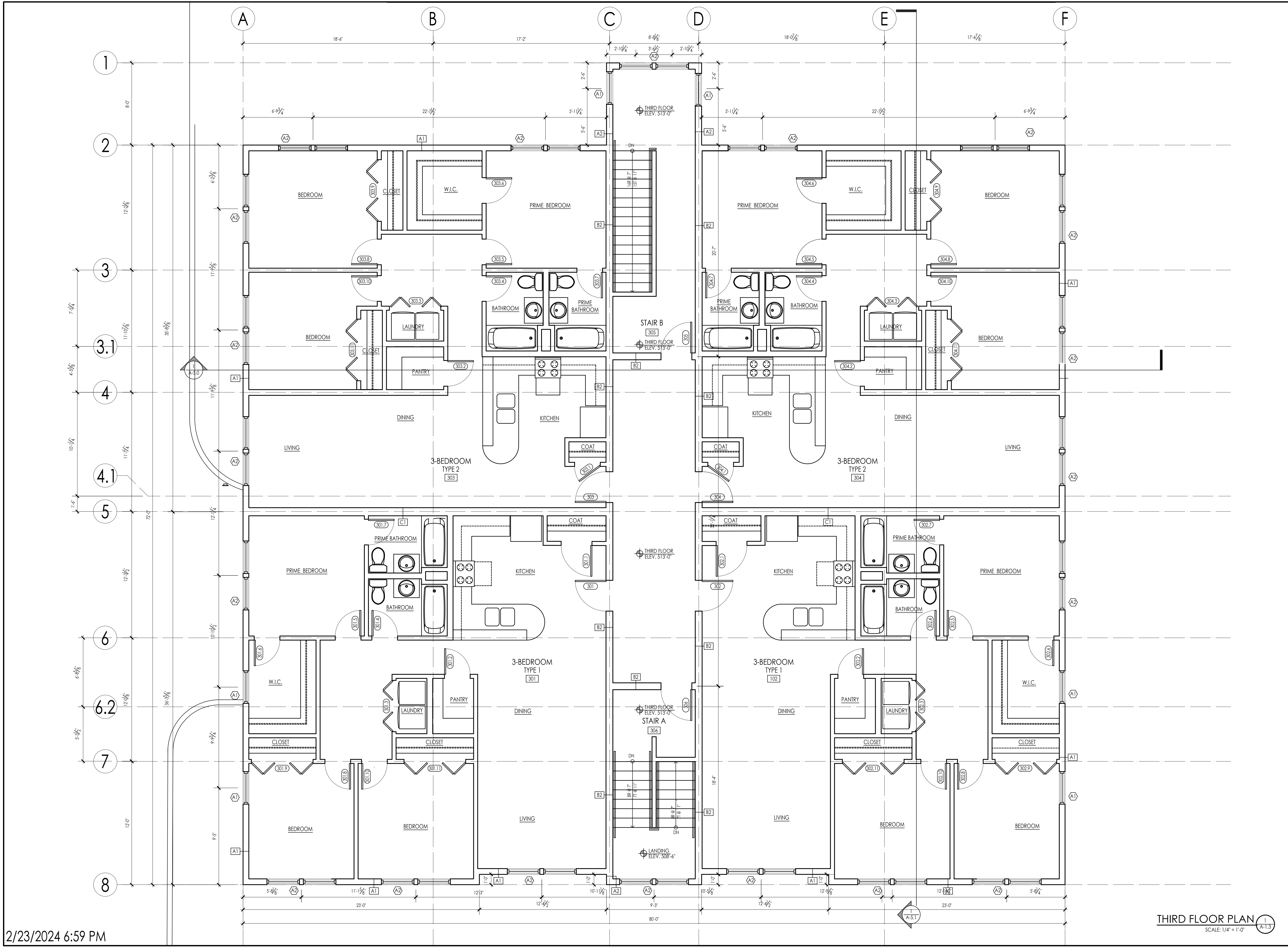
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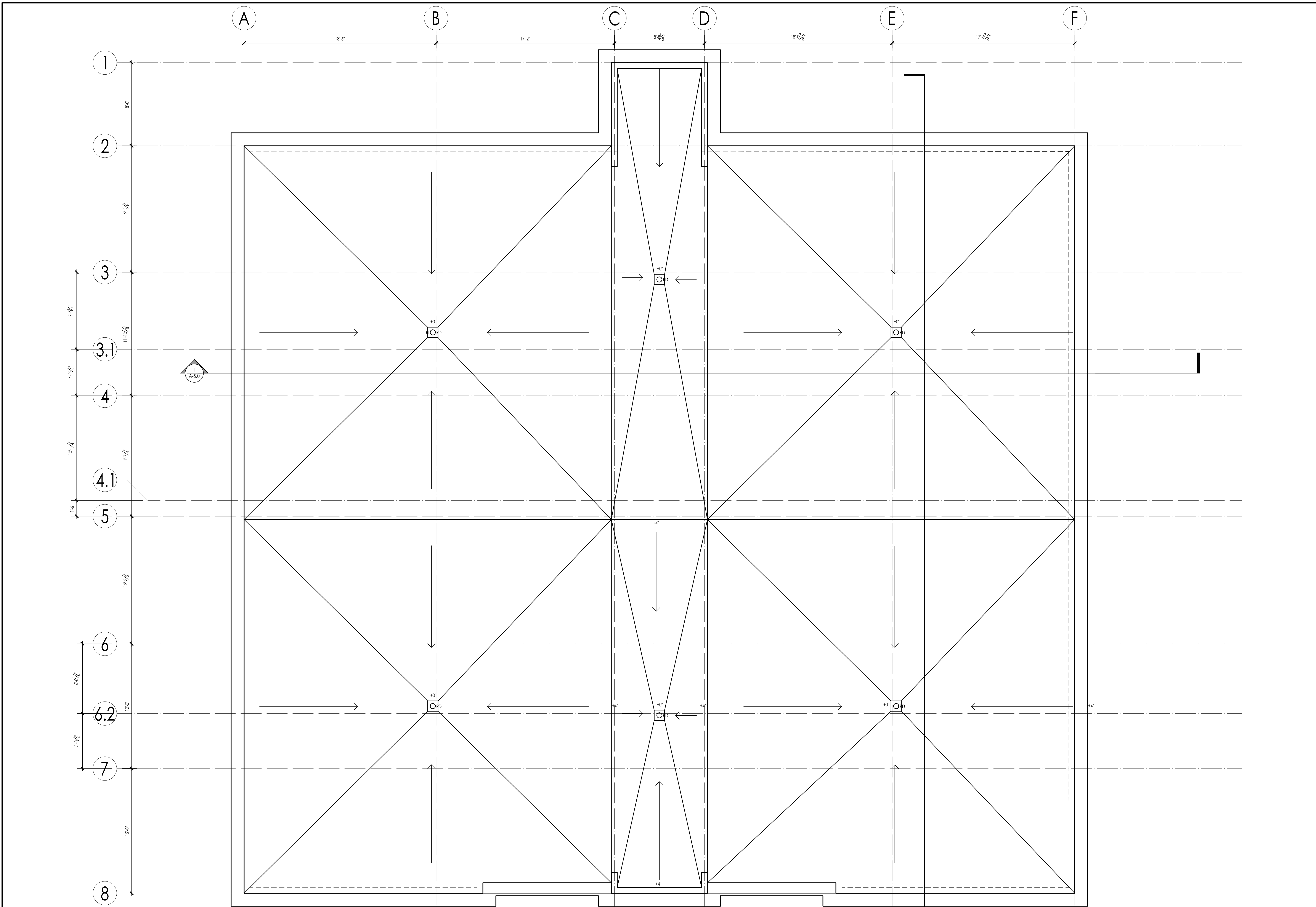
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 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 THIRD FLOOR PLAN

SHEET NUMBER:

**A-1.3**





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CONSTRUCTION	
EXISTING CONDITIONS	

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PROJECT TITLE:  
 RESIDENTIAL BUILDING  
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 WORCESTER, MA 01610

SHEET TITLE:  
 ROOF PLAN

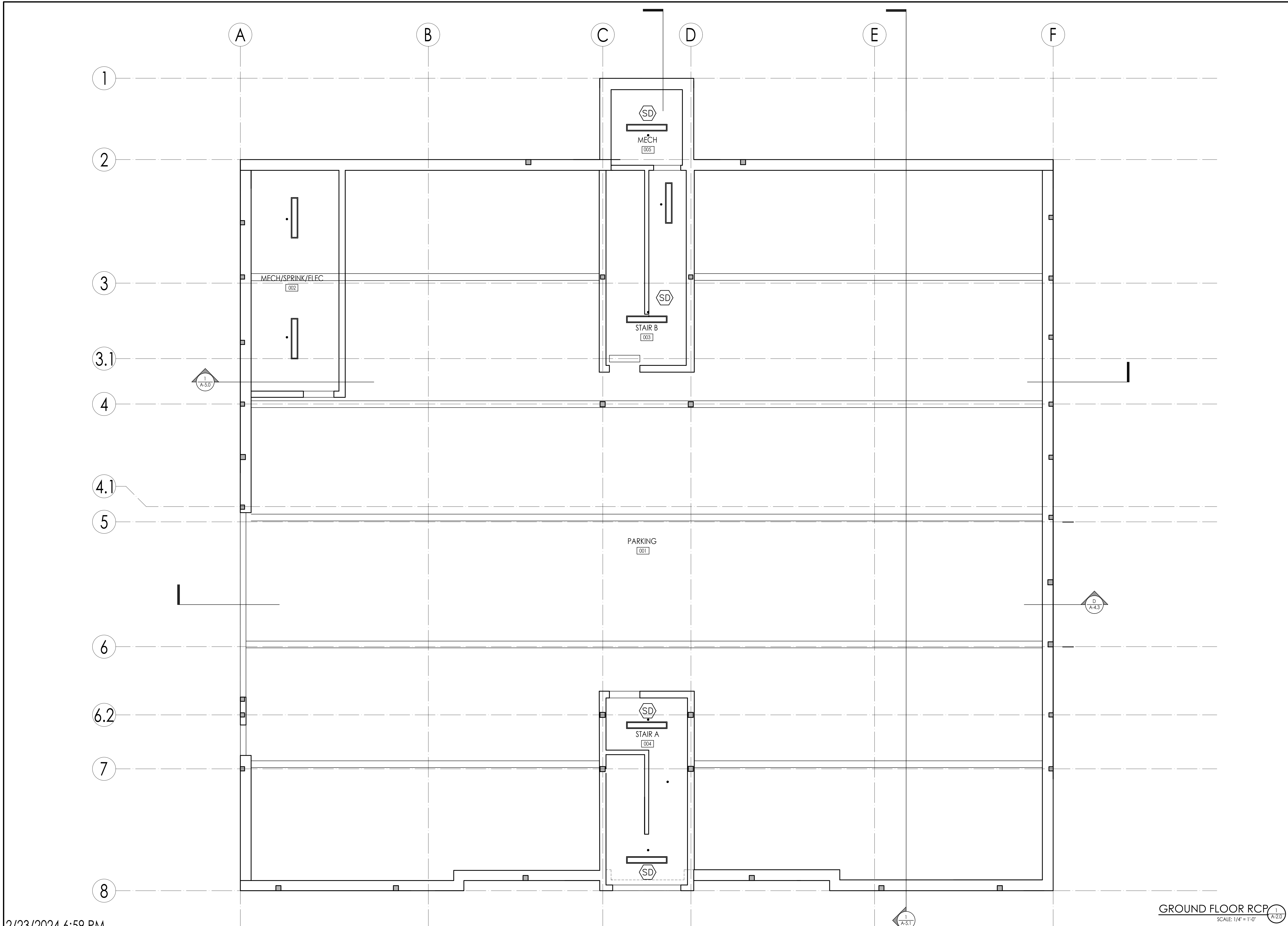
SHEET NUMBER:

**A-1.4**

ROOF NOTES:  
 MIN ROOF PITCH: 1/4" = 1'-0"  
 NO POCKET SHALL BE MORE THAN 4" DEEP

ROOF PLAN 1  
 SCALE: 1/4" = 1'-0" A-1.4





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GROUND FLOOR RCP  
SCALE: 1/4" = 1'-0"

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ARCHITECTS STAMP:

ENGINEER:

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EXISTING CONDITIONS	

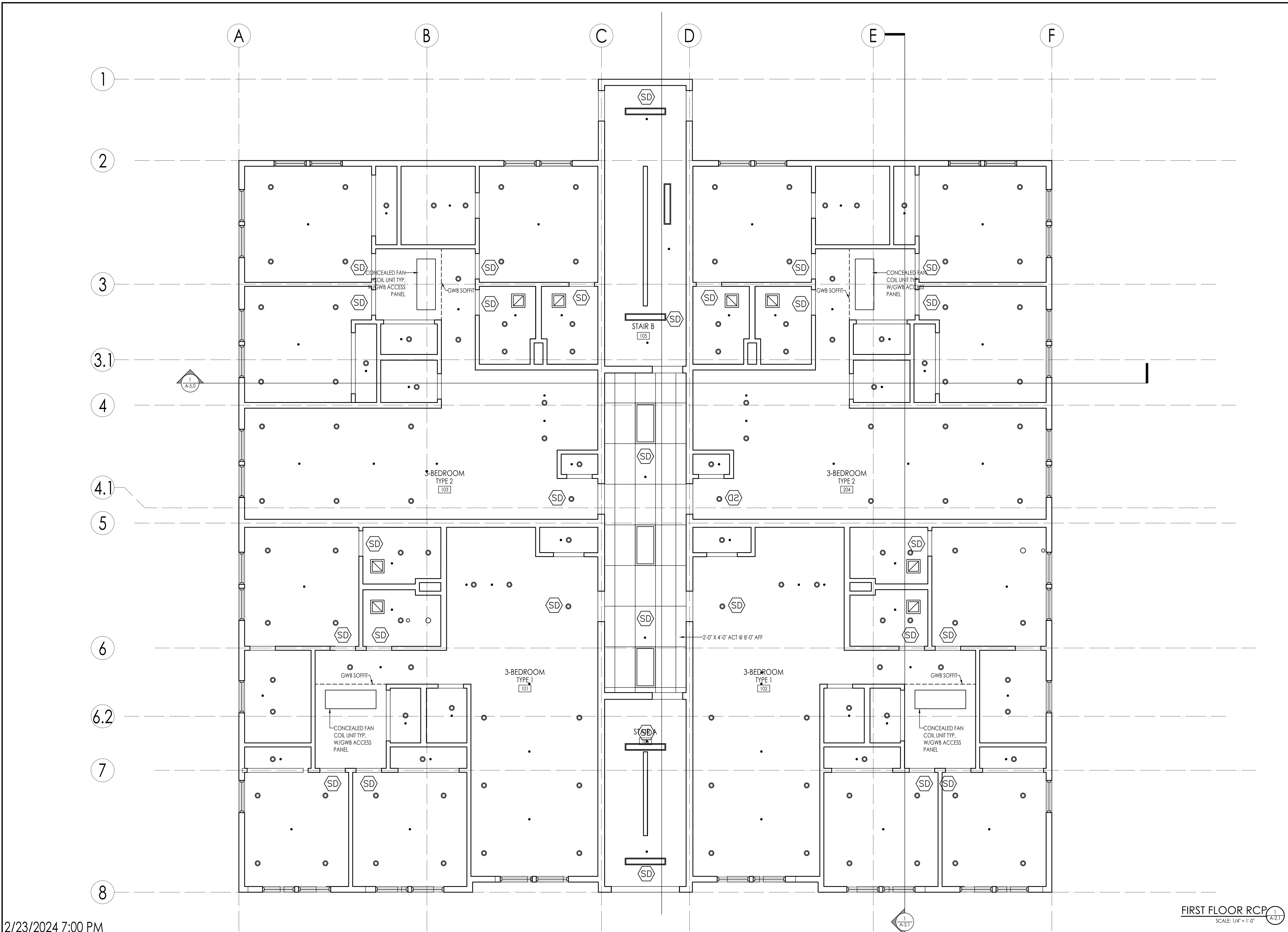
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DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 GROUND FLOOR -  
 REFLECTED CEILING PLAN

SHEET NUMBER:  
**A-2.0**



2/23/2024 7:00 PM

FIRST FLOOR RCP  
SCALE: 1/4" = 1'-0"

ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
 300 MAIN STREET  
 WORCESTER, MASSACHUSETTS  
 01508-7550333 (C) 1988-2024  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
4	
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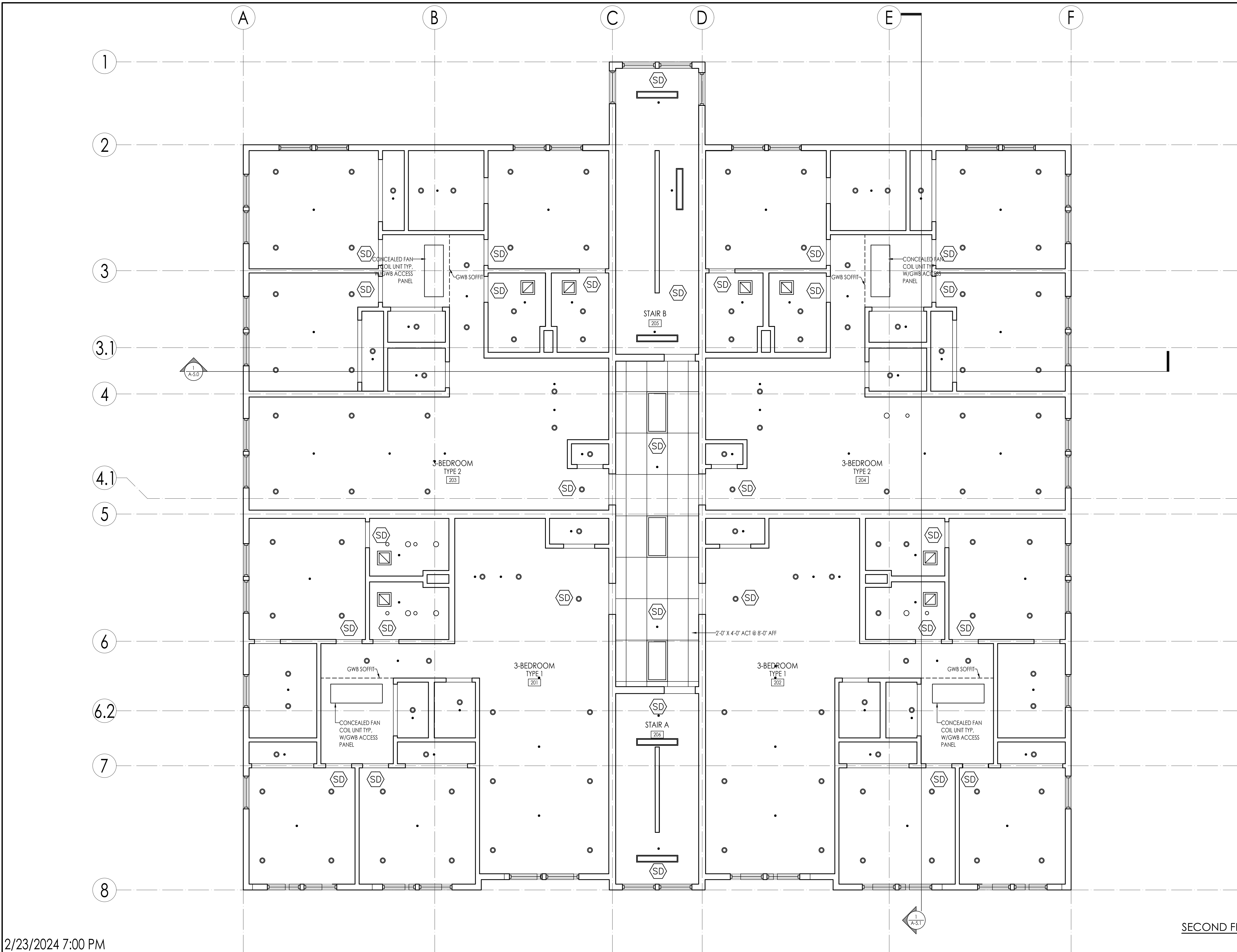
DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 FIRST FLOOR -  
 REFLECTED CEILING PLAN

SHEET NUMBER:

A-2.1



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
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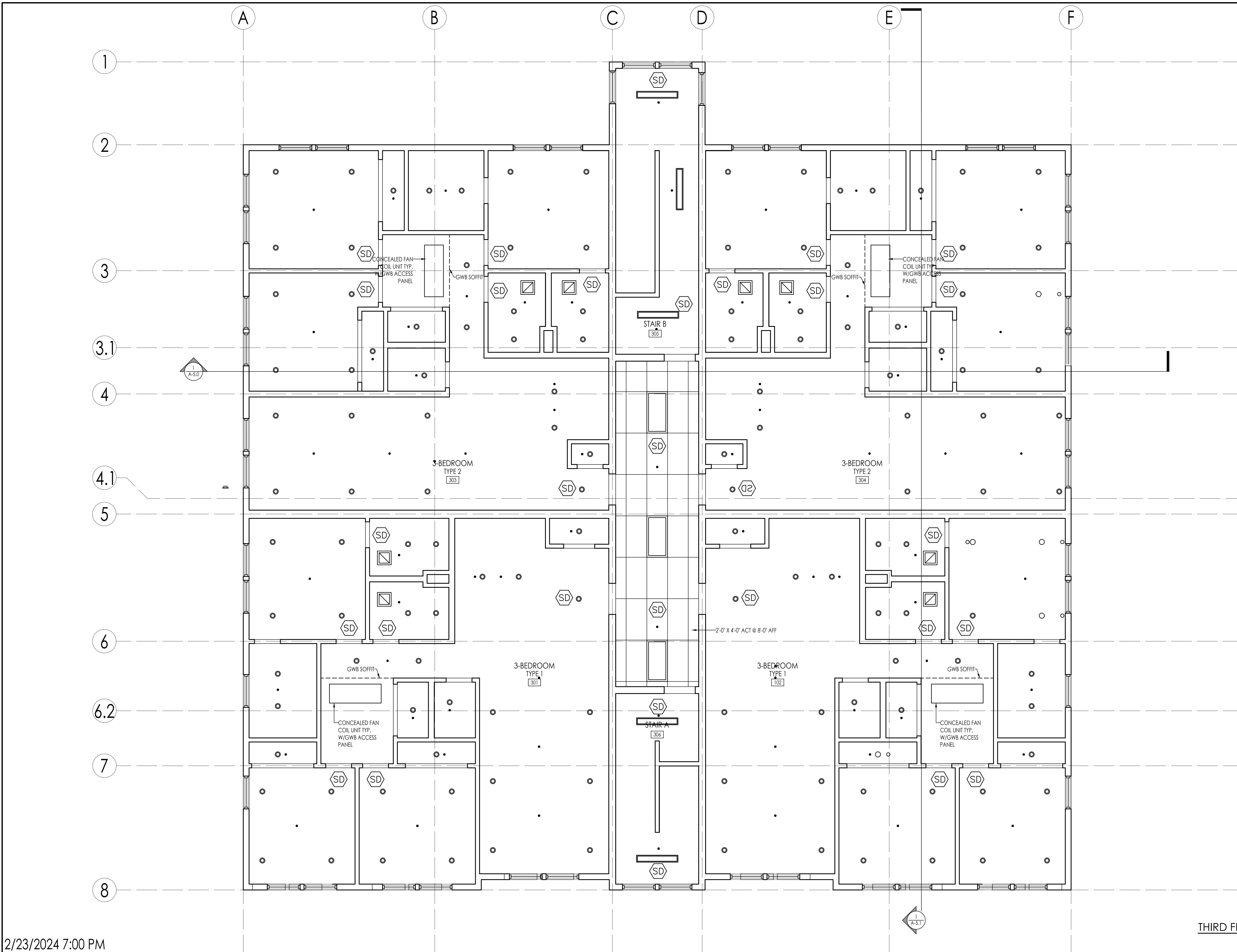
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SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 SECOND FLOOR -  
 REFLECTED CEILING PLAN

SHEET NUMBER:

**A-2.2**



2/23/2024 7:00 PM

THIRD FLOOR RCP  
SCALE: 1/4" = 1'-0"

ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
300 MAIN STREET, FIRST FLOOR  
 WORCESTER, MASSACHUSETTS 01608  
 (508) 755-0333 (F) 508-752-5348  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

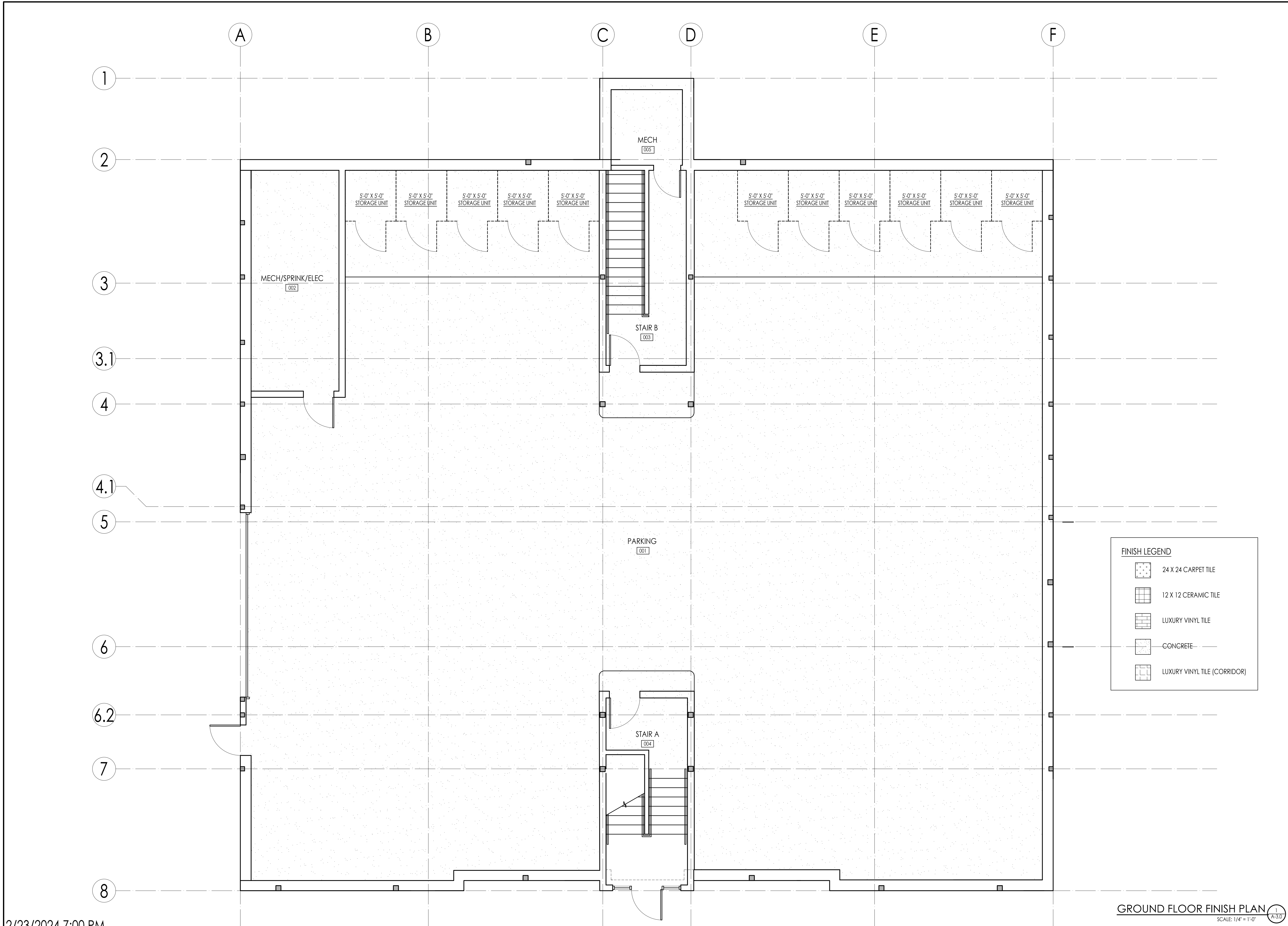
NO.	REVISION DATE
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DATE: 02.05.2024  
 SCALE: AS NOTED  
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 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 THIRD FLOOR -  
 REFLECTED CEILING PLAN

SHEET NUMBER:  
**A-2.3**



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
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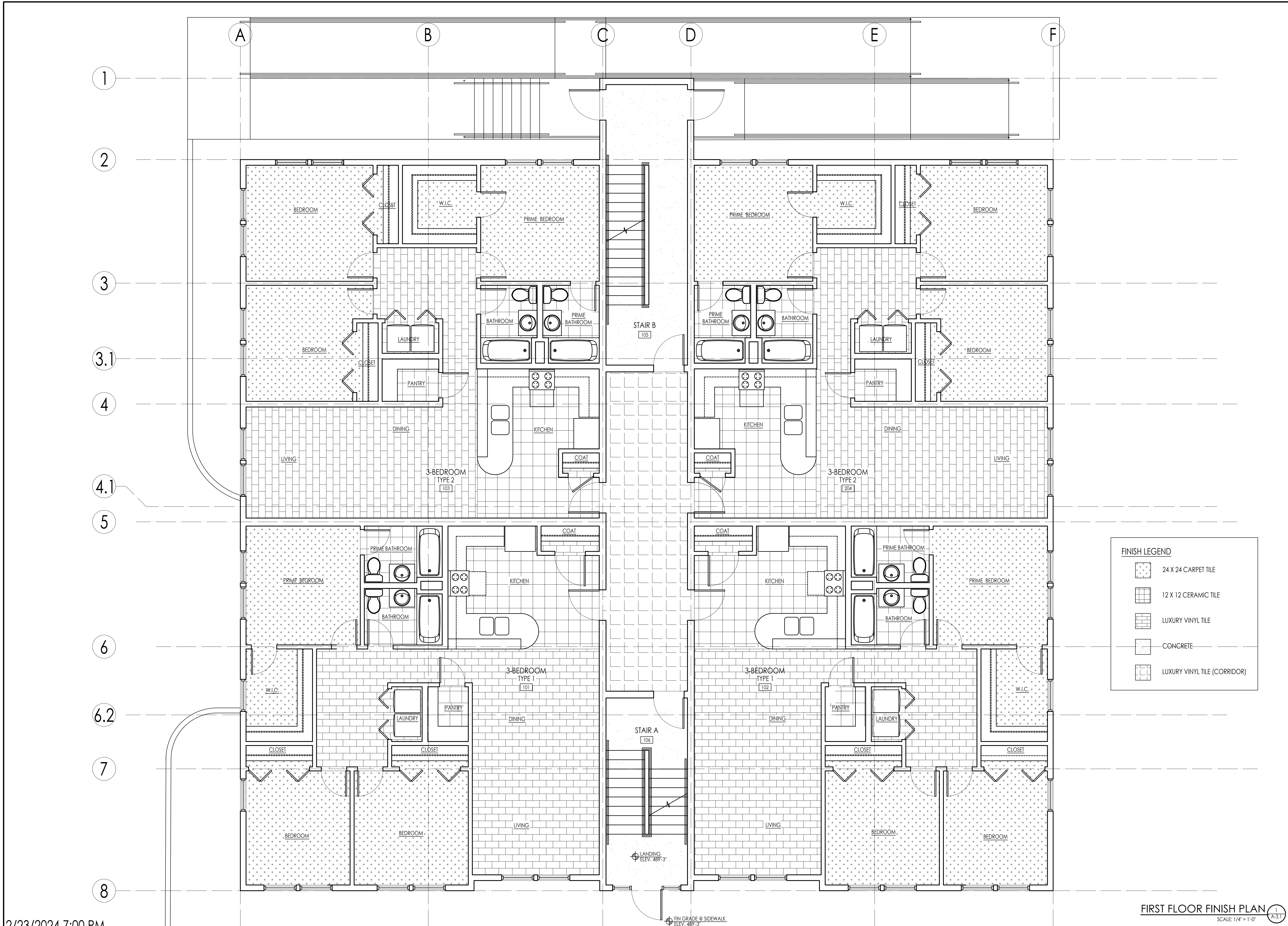
DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

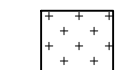
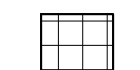
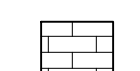


SHEET TITLE:  
 GROUND FLOOR - FINISH PLAN

SHEET NUMBER:

**A-3.0**



**FINISH LEGEND**

-  24 X 24 CARPET TILE
-  12 X 12 CERAMIC TILE
-  LUXURY VINYL TILE
-  CONCRETE
-  LUXURY VINYL TILE (CORRIDOR)







ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
300 MAIN STREET, SUITE 200, WORCESTER, MA 01608  
 (508) 755-0333 (508) 752-5348  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

NO.	REVISION	DATE
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DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH  
 PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 FIRST FLOOR - FINISH PLAN

SHEET NUMBER:

**A-3.1**

2/23/2024 7:00 PM

FIRST FLOOR FINISH PLAN  
 SCALE: 1/4" = 1'-0" 1  
A-3.1

FIN GRADE @ SIDEWALK  
 ELEV. 489'-3"

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

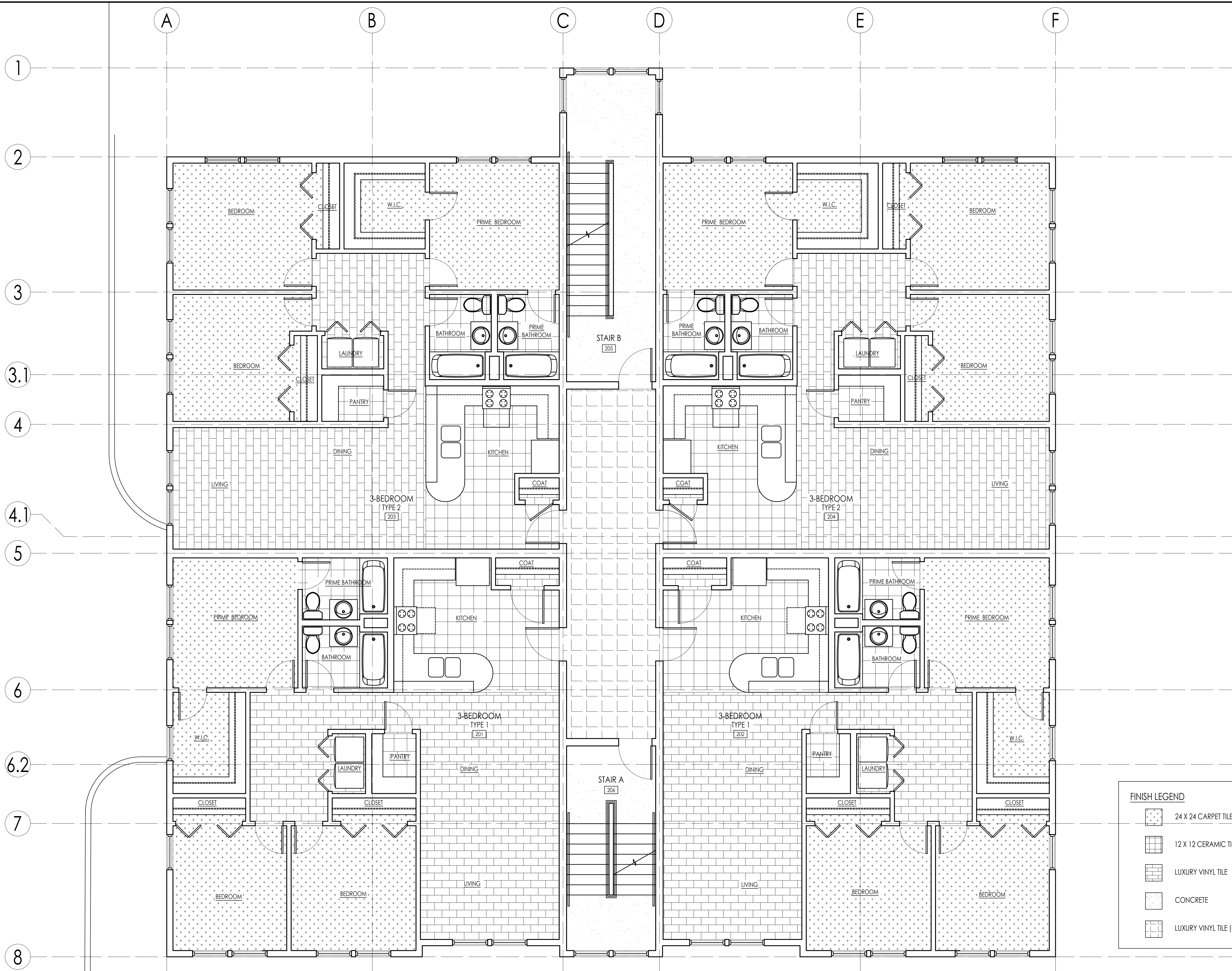
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	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE	

DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH  
 PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 SECOND FLOOR - FINISH PLAN

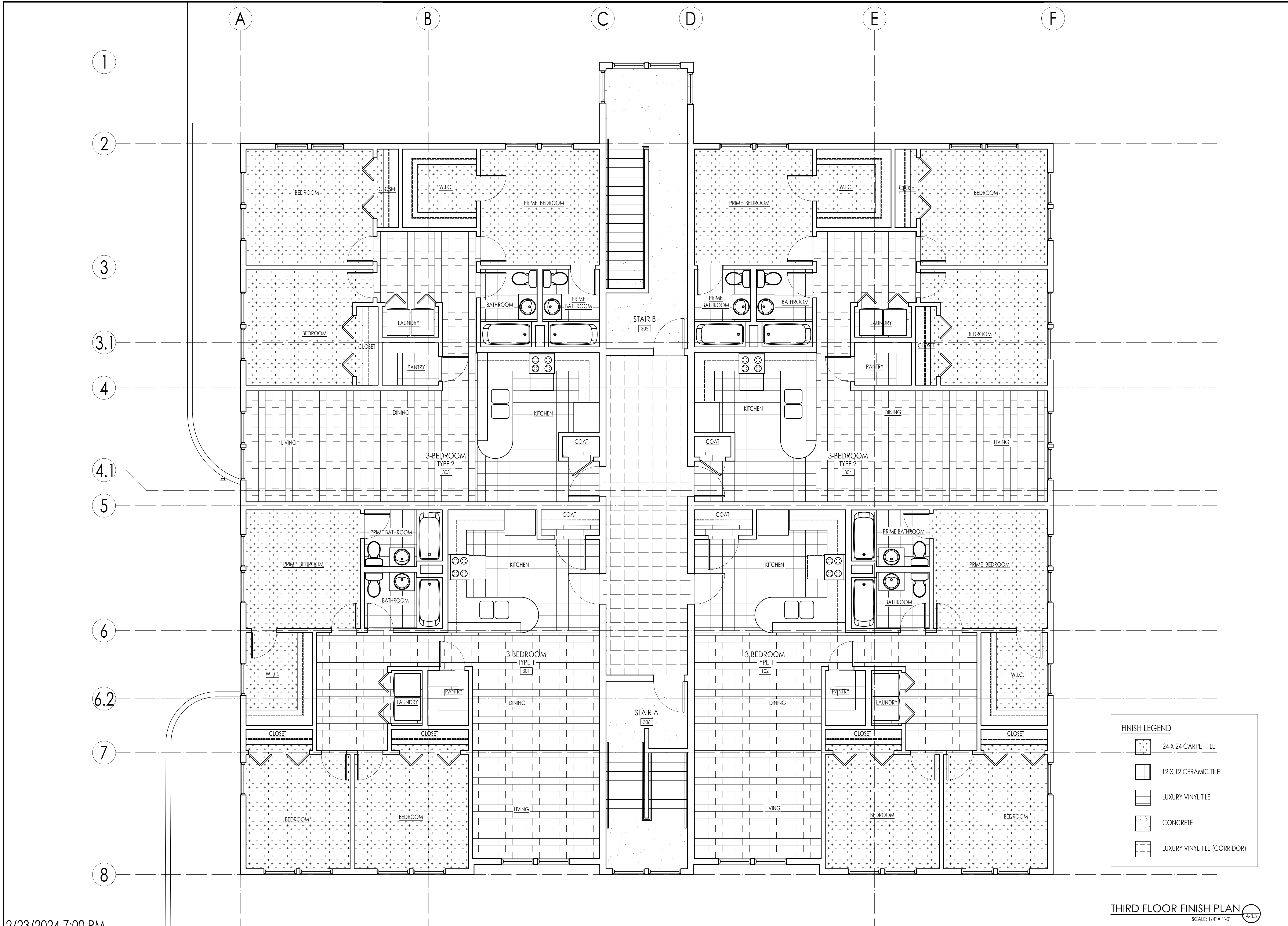
SHEET NUMBER:  
**A-3.2**



**FINISH LEGEND**

- 24 X 24 CARPET TILE
- 12 X 12 CERAMIC TILE
- LUXURY VINYL TILE
- CONCRETE
- LUXURY VINYL TILE (CORRIDOR)

**SECOND FLOOR FINISH PLAN** 1  
 SCALE: 1/4" = 1'-0" A-3.2



**FINISH LEGEND**

- 24 X 24 CARPET TILE
- 12 X 12 CERAMIC TILE
- LUXURY VINYL TILE
- CONCRETE
- LUXURY VINYL TILE (CORRIDOR)

THIRD FLOOR FINISH PLAN 1  
SCALE: 1/4" = 1'-0" A-3.3

2/23/2024 7:00 PM

ARCHITECT:  
**DIXON SALO ARCHITECTS INCORPORATED**  
FIRST FLOOR 300 MAIN STREET WORCESTER, MASSACHUSETTS 01508 755.853.333 (C) 1988-2024 508.727.5348 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 02.05.2024  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH  
 PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 THIRD FLOOR - FINISH PLAN

SHEET NUMBER:  
A-3.3



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

DATE:	02.05.2024
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATIONS

SHEET NUMBER:

**A-4.0**

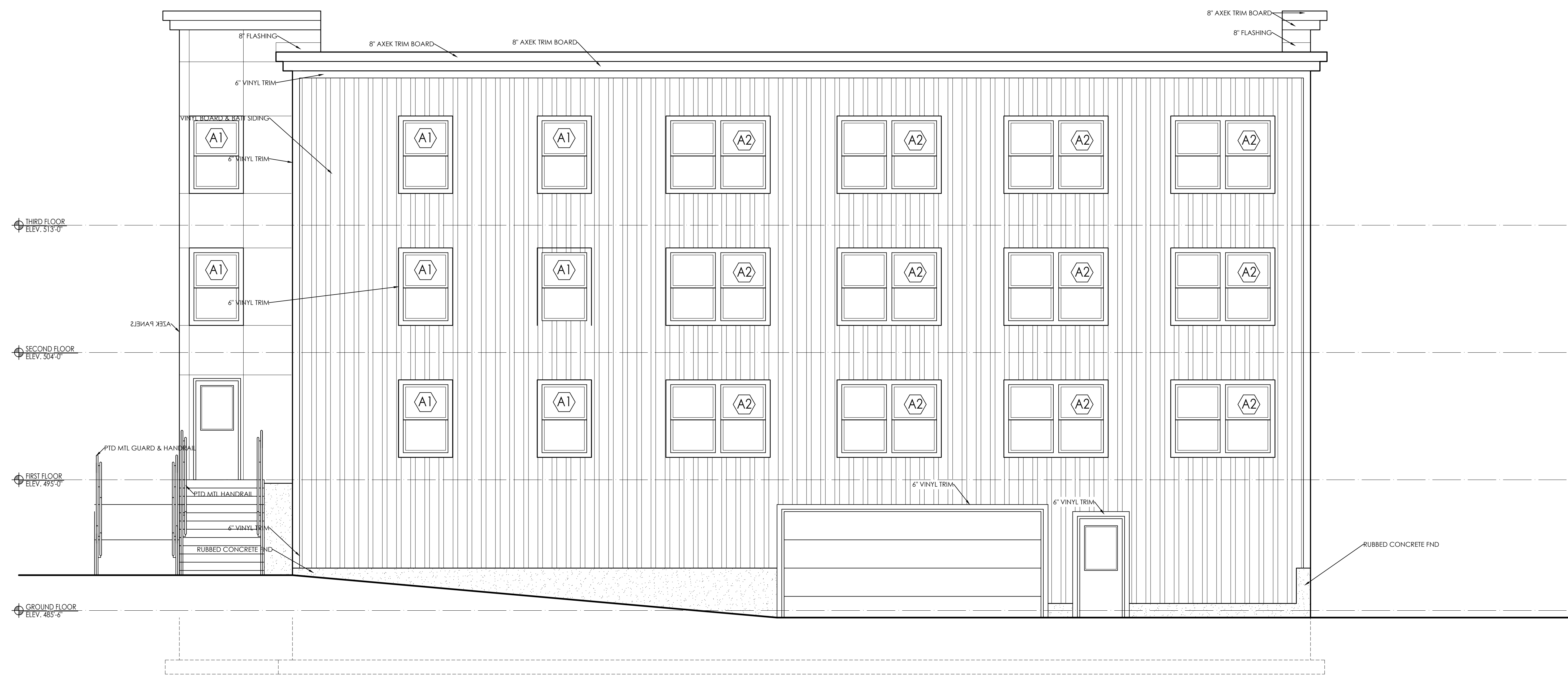


ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:



□	SCHEMATIC	12.20.2022
□	DESIGN DEVELOPMENT	12.08.2023
□	BID	
□	PERMIT	
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

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	REVISION DATE

DATE:	02.05.2024
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATIONS

SHEET NUMBER:

**A-4.1**

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
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	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

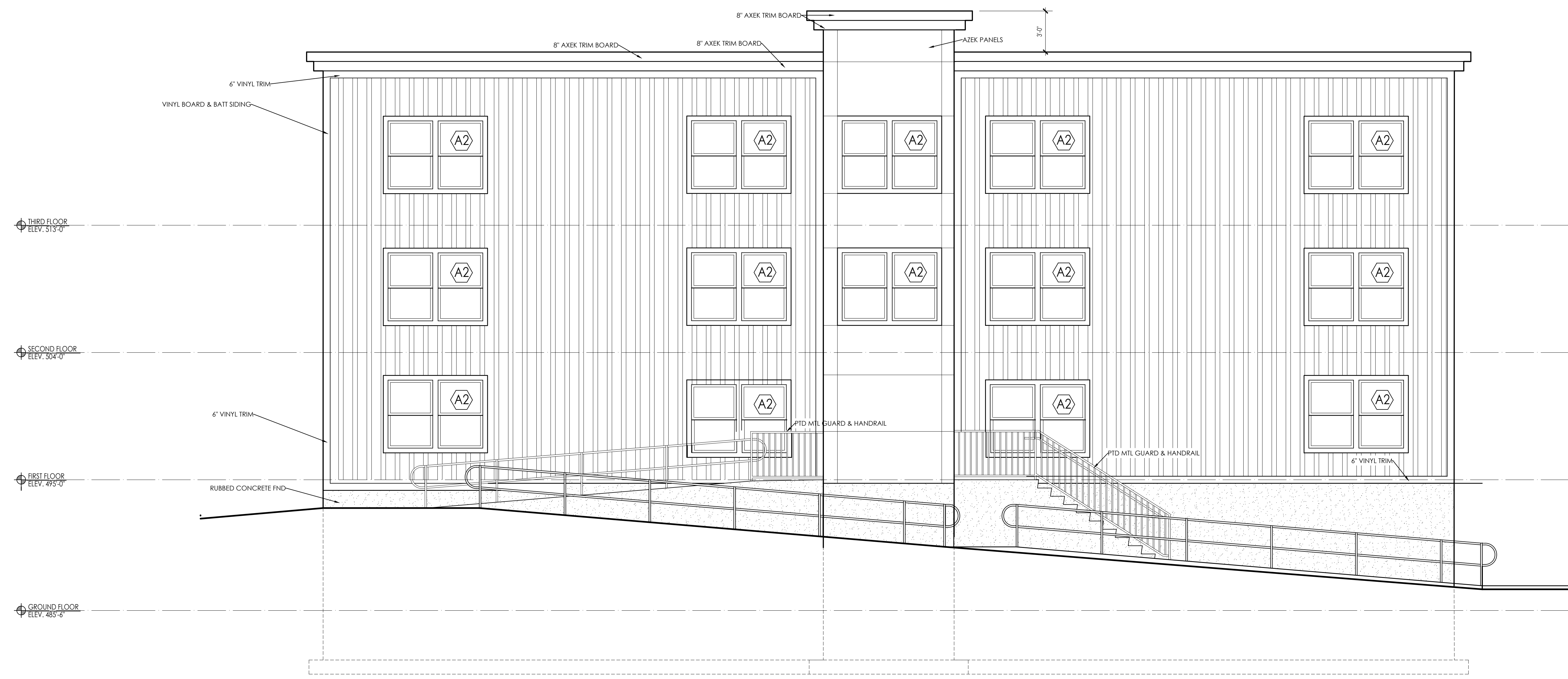
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PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATIONS

SHEET NUMBER:

**A-4.2**



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
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	EXISTING CONDITIONS	

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	REVISION DATE

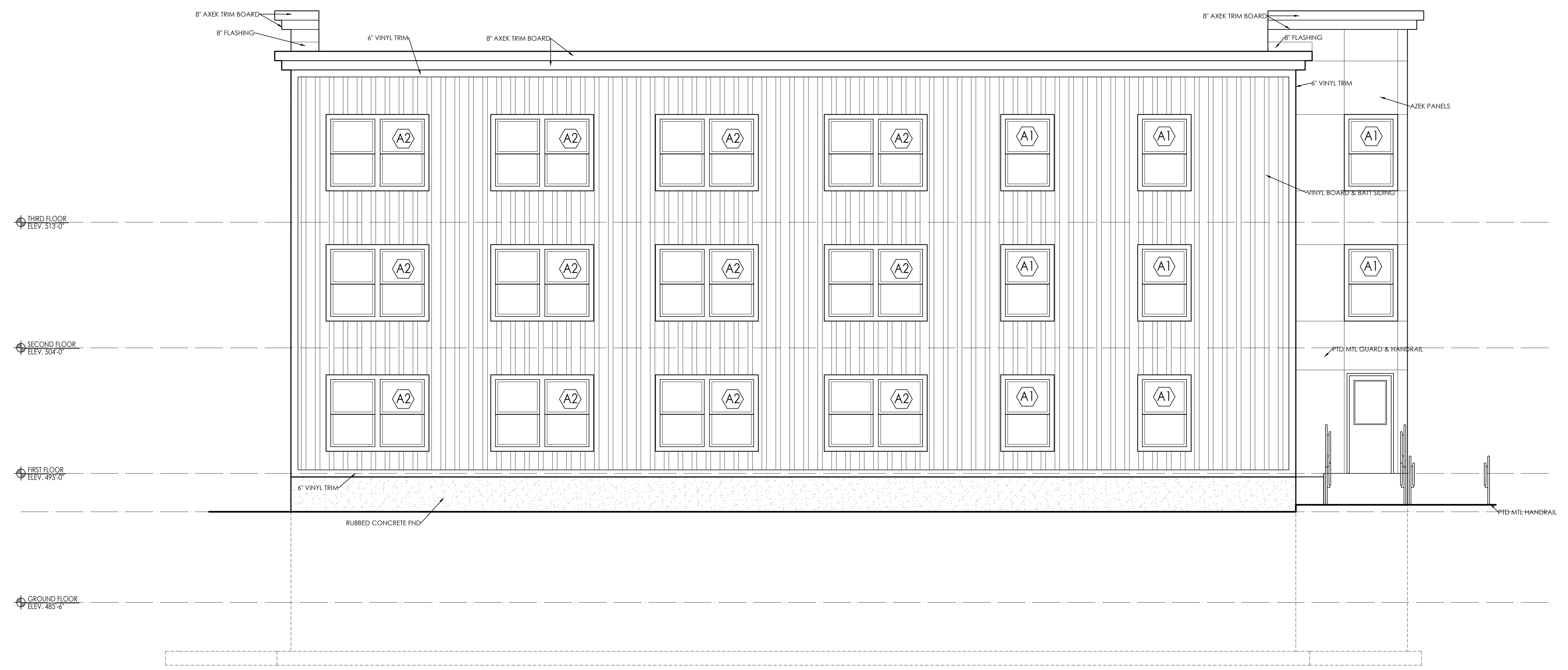
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 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATIONS

SHEET NUMBER:

**A-4.3**









ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
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	EXISTING CONDITIONS	

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	REVISION DATE

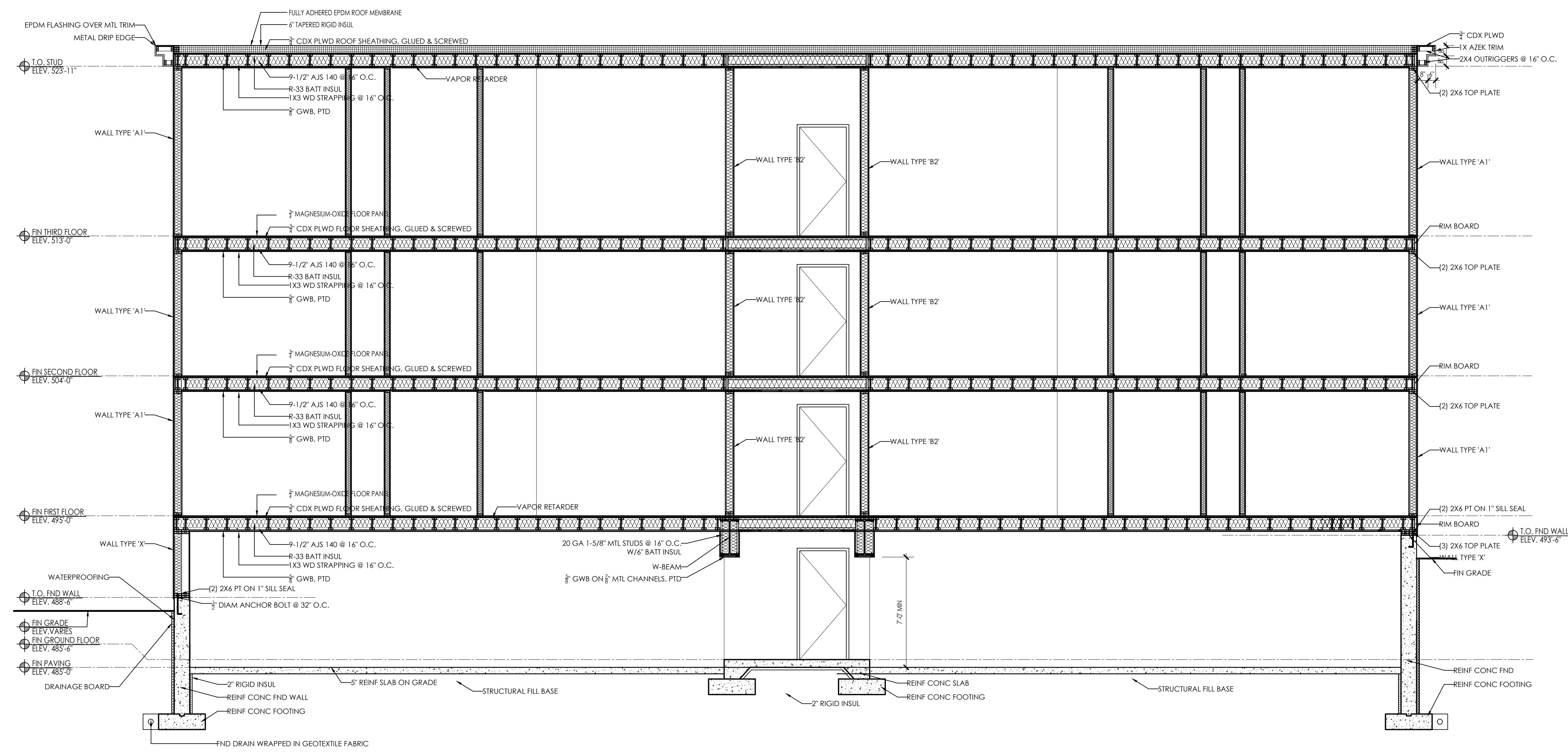
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CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING SECTION

SHEET NUMBER:

**A-5.0**



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
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CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

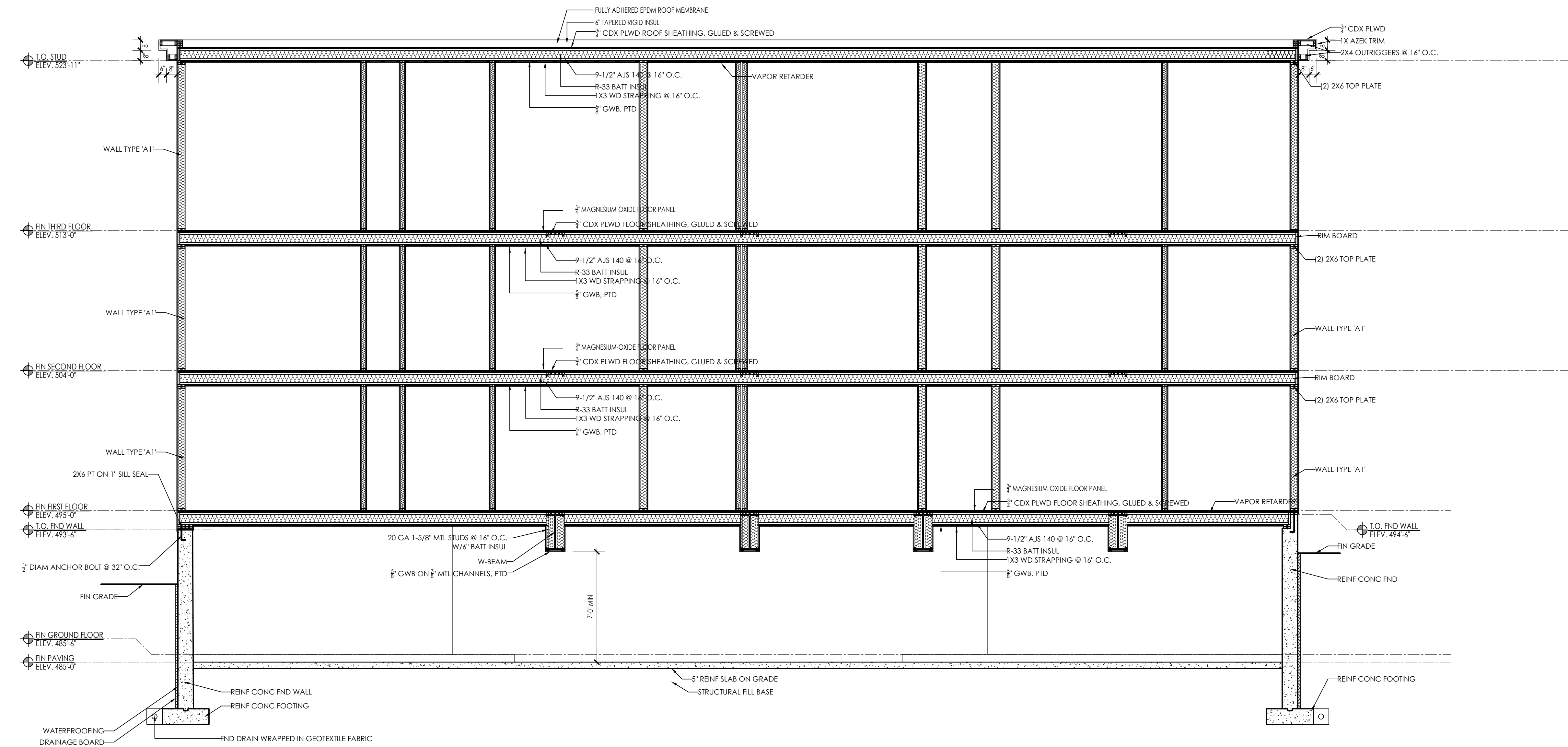
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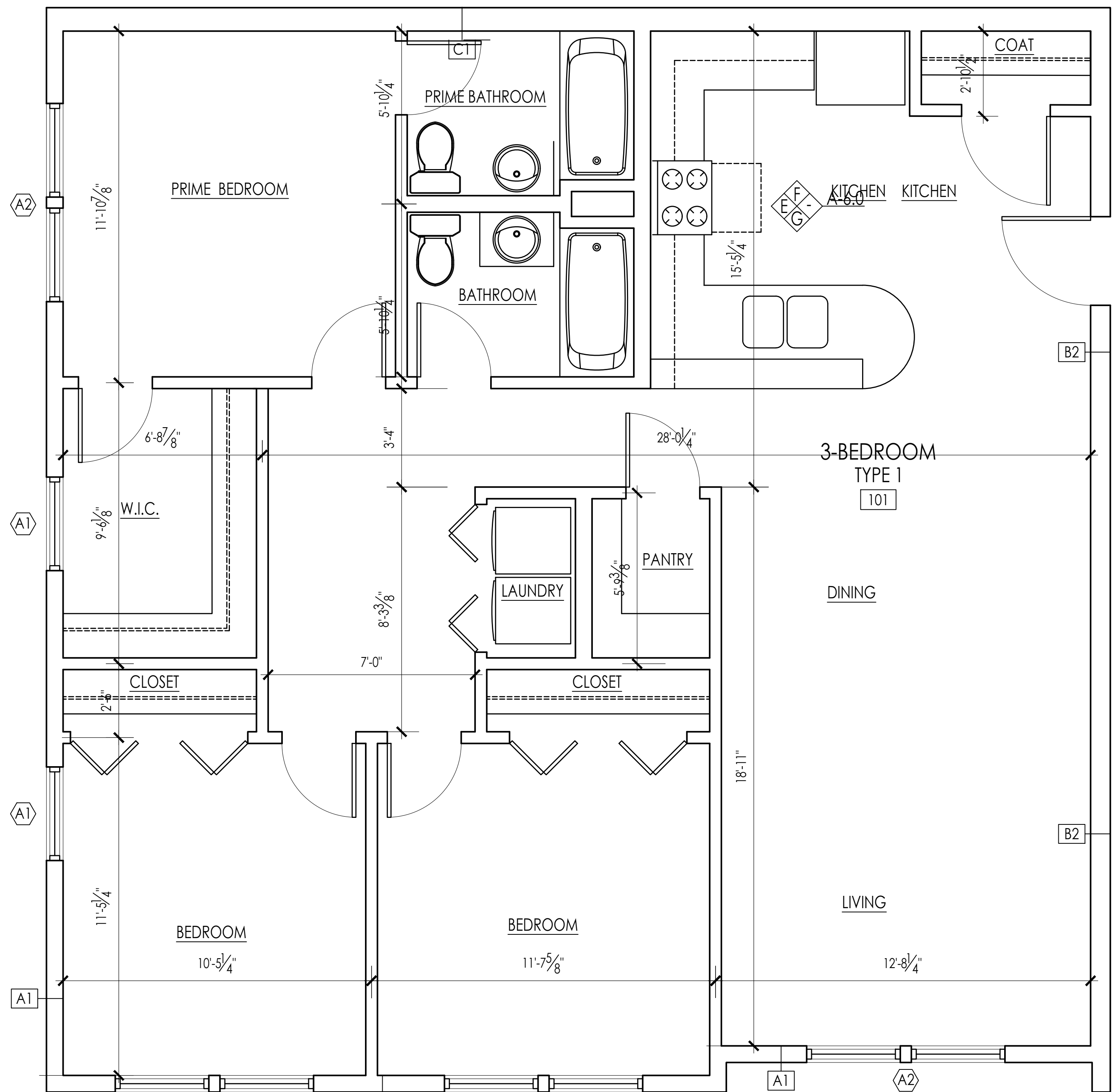
PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING SECTION

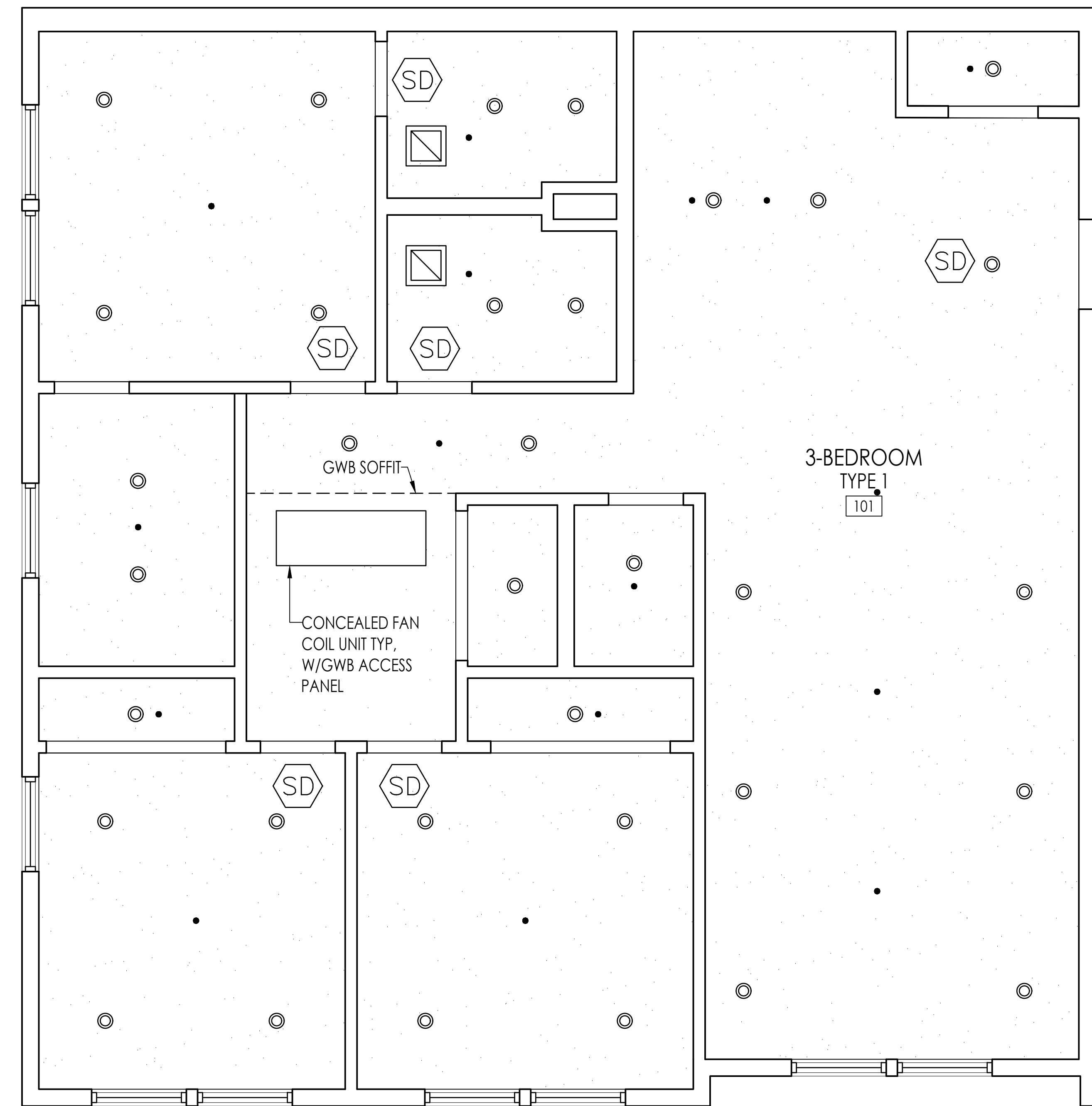
SHEET NUMBER:

**A-5.1**

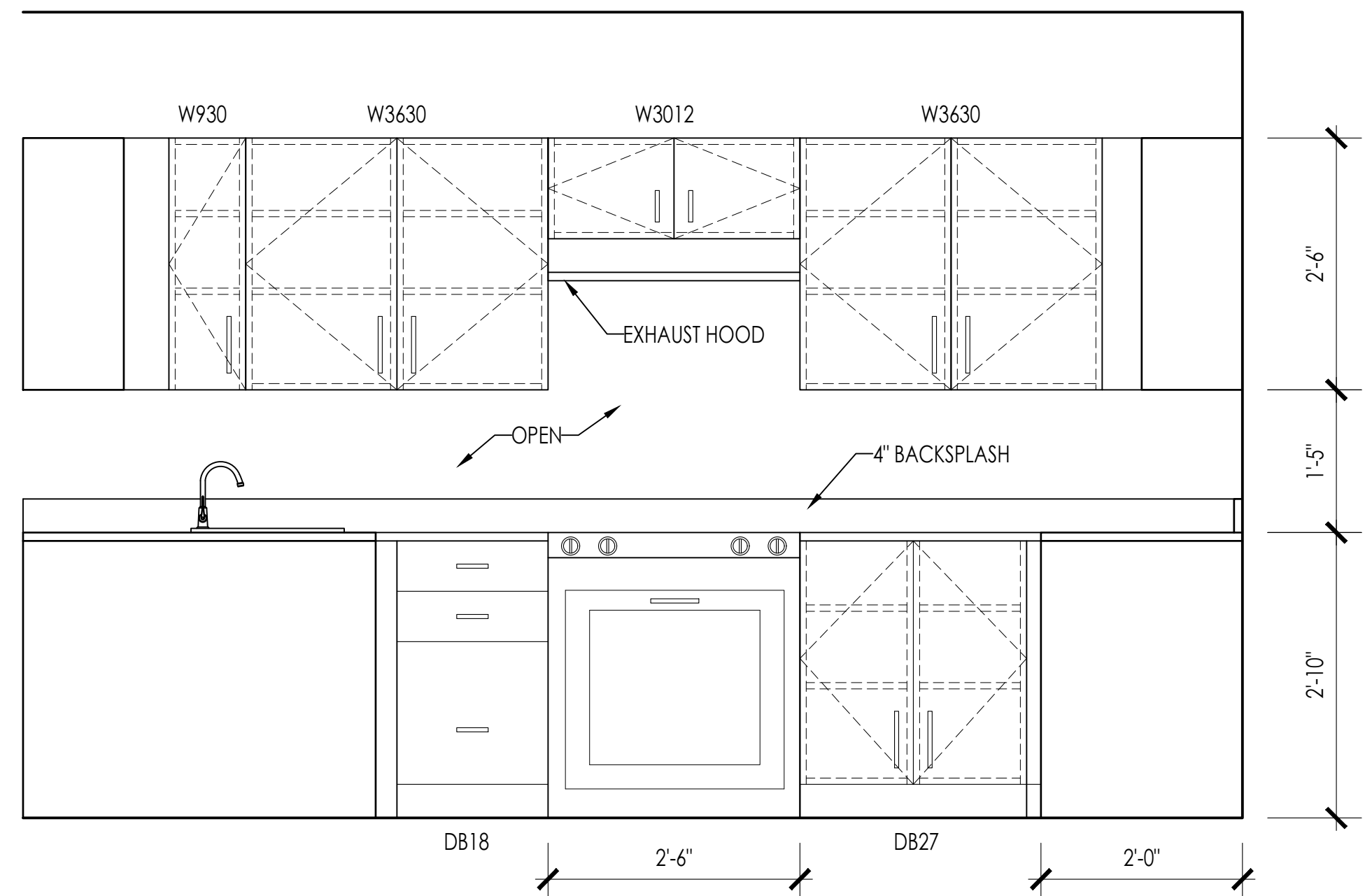




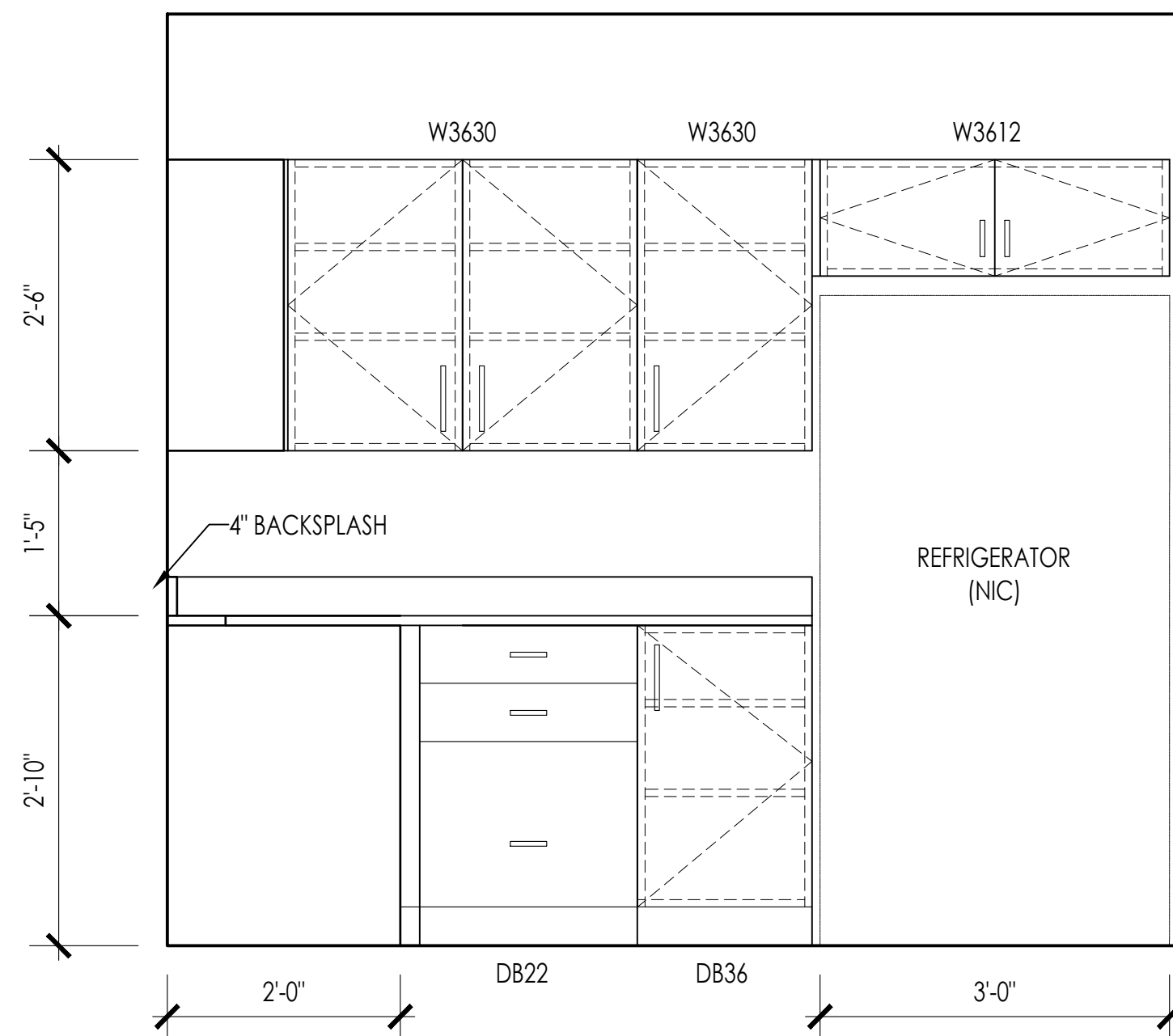
ENLARGED 'TYPE 1' UNIT PLAN <sup>1</sup>  
SCALE: 3/8" = 1'-0" A-6.0



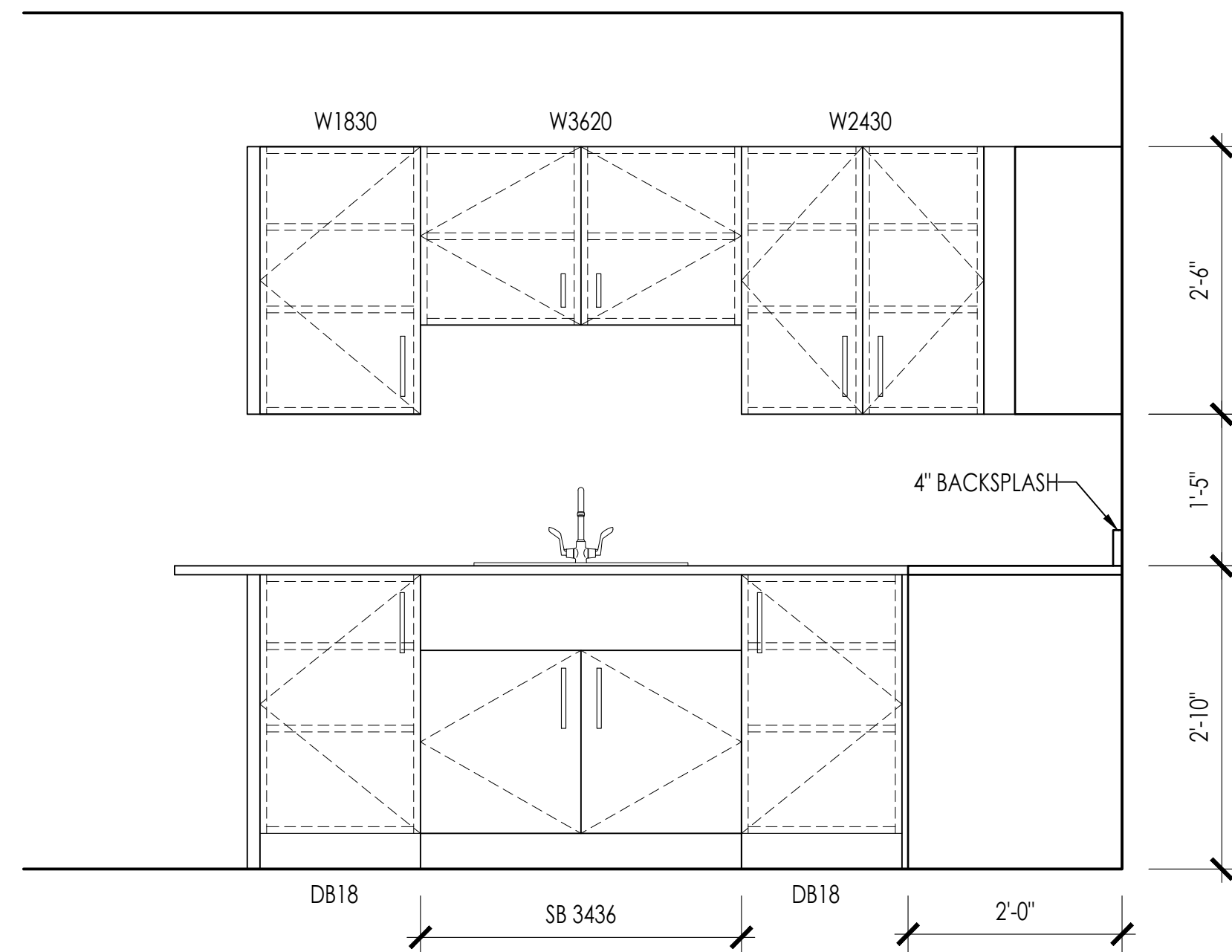
ENLARGED 'TYPE 1' RCP <sup>2</sup>  
SCALE: 3/8" = 1'-0" A-6.0



TYPICAL 'TYPE 1' KITCHEN ELEVATION <sup>E</sup>  
SCALE: 3/4" = 1'-0" A-6.0



TYPICAL 'TYPE 1' KITCHEN ELEVATION <sup>F</sup>  
SCALE: 3/4" = 1'-0" A-6.0



TYPICAL 'TYPE 1' KITCHEN ELEVATION <sup>G</sup>  
SCALE: 3/4" = 1'-0" A-6.0

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
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DATE:	02.05.2024
SCALE:	AS NOTED
PROJECT:	
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	RESIDENTIAL BUILDING 11 PARKER WORCESTER, MA 01610

SHEET TITLE:  
ENLARGED UNIT PLANS & ELEVATIONS - TYPE 1

SHEET NUMBER:

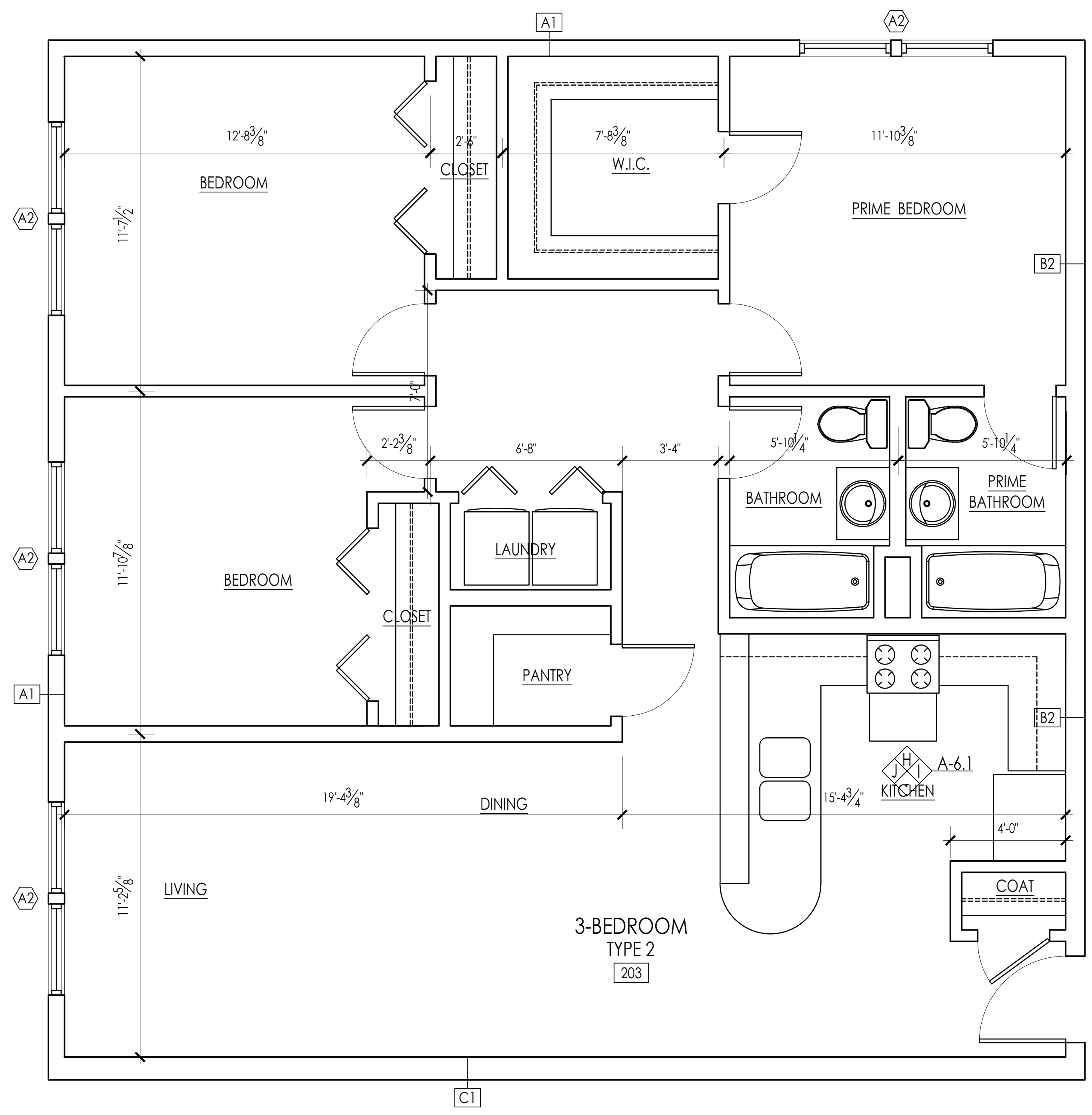
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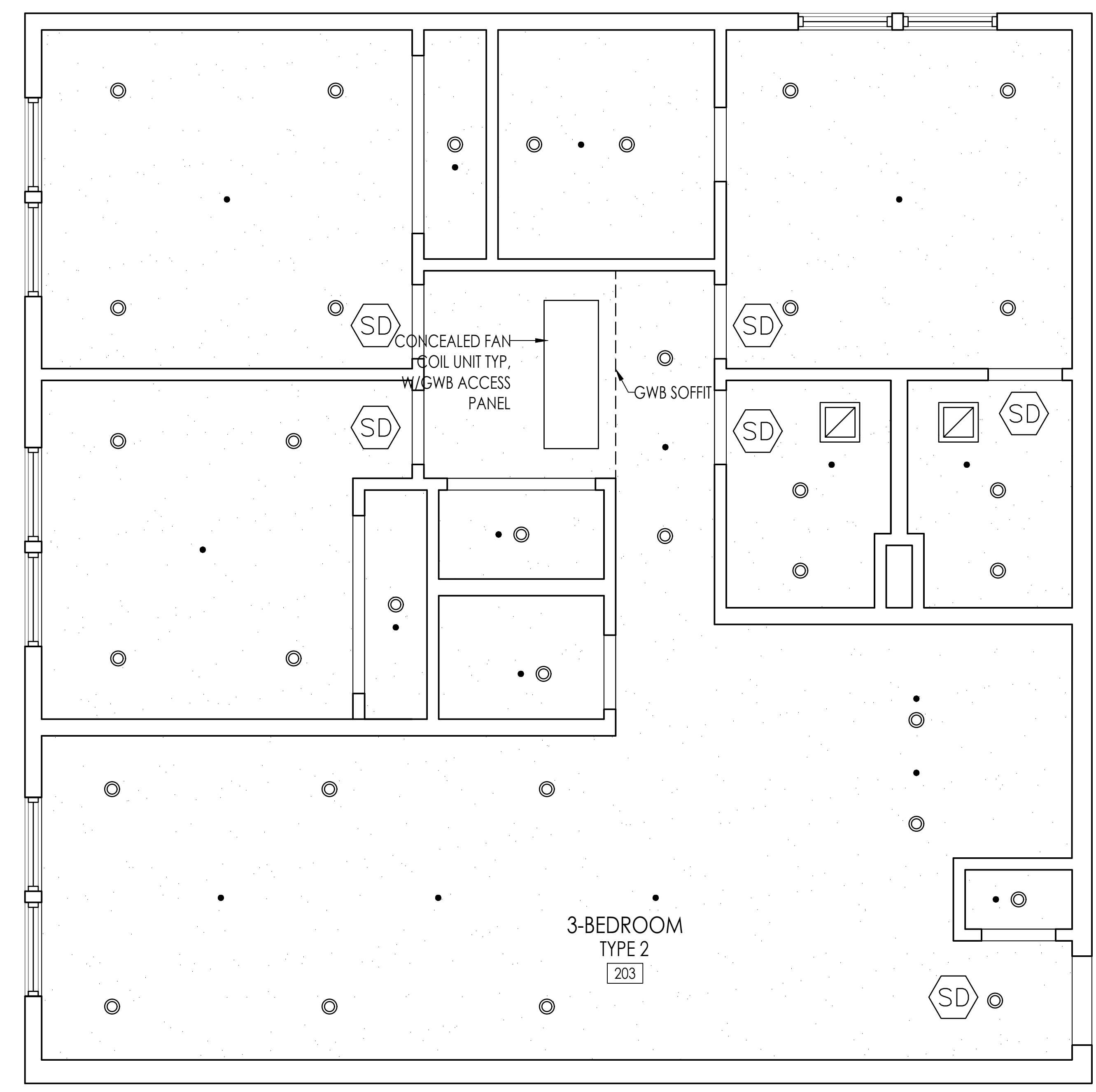
ENGINEER:

ENGINEER'S STAMP:

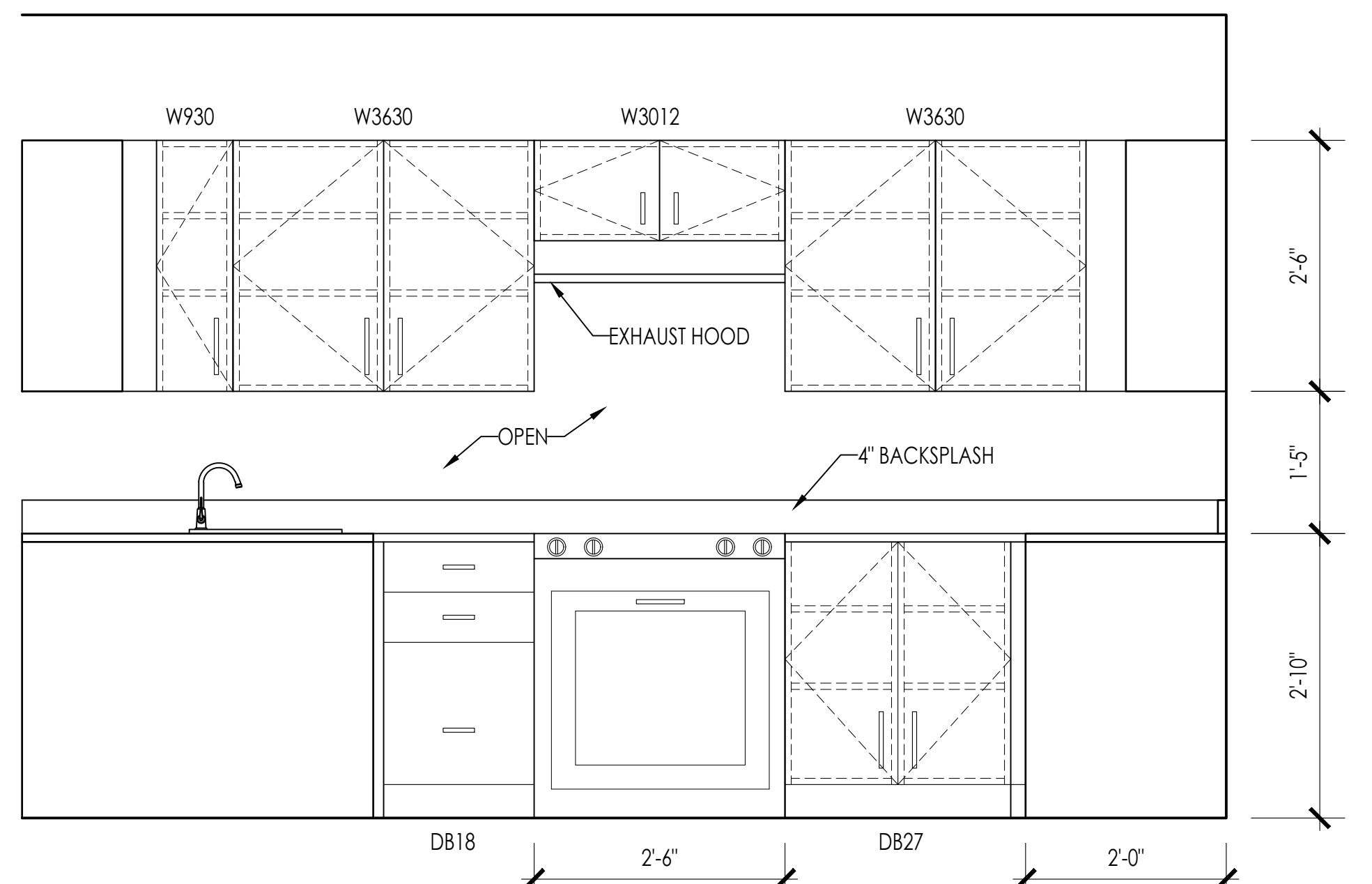
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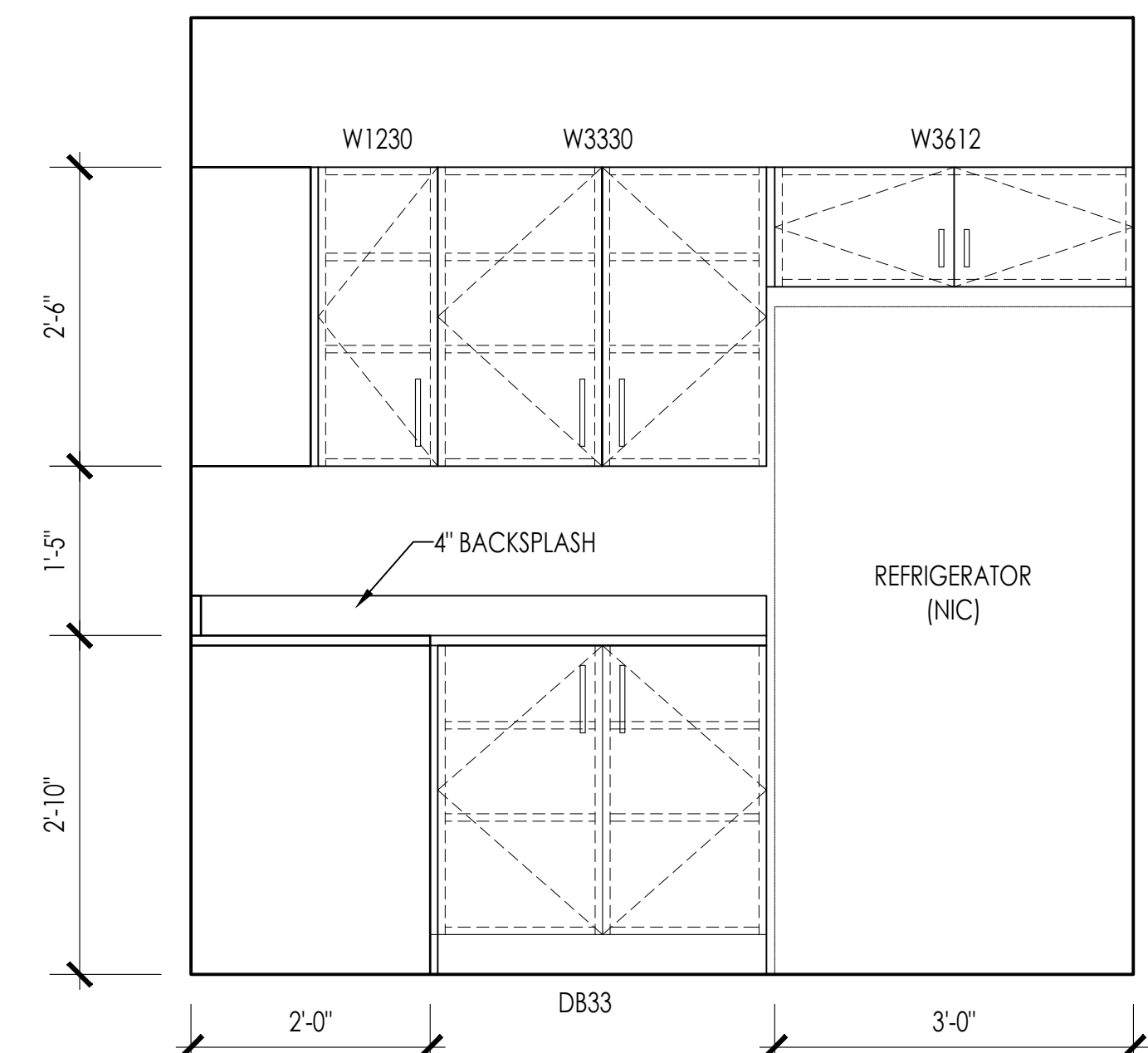
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 SCALE: 3/8" = 1'-0"  
 1 A-6.1



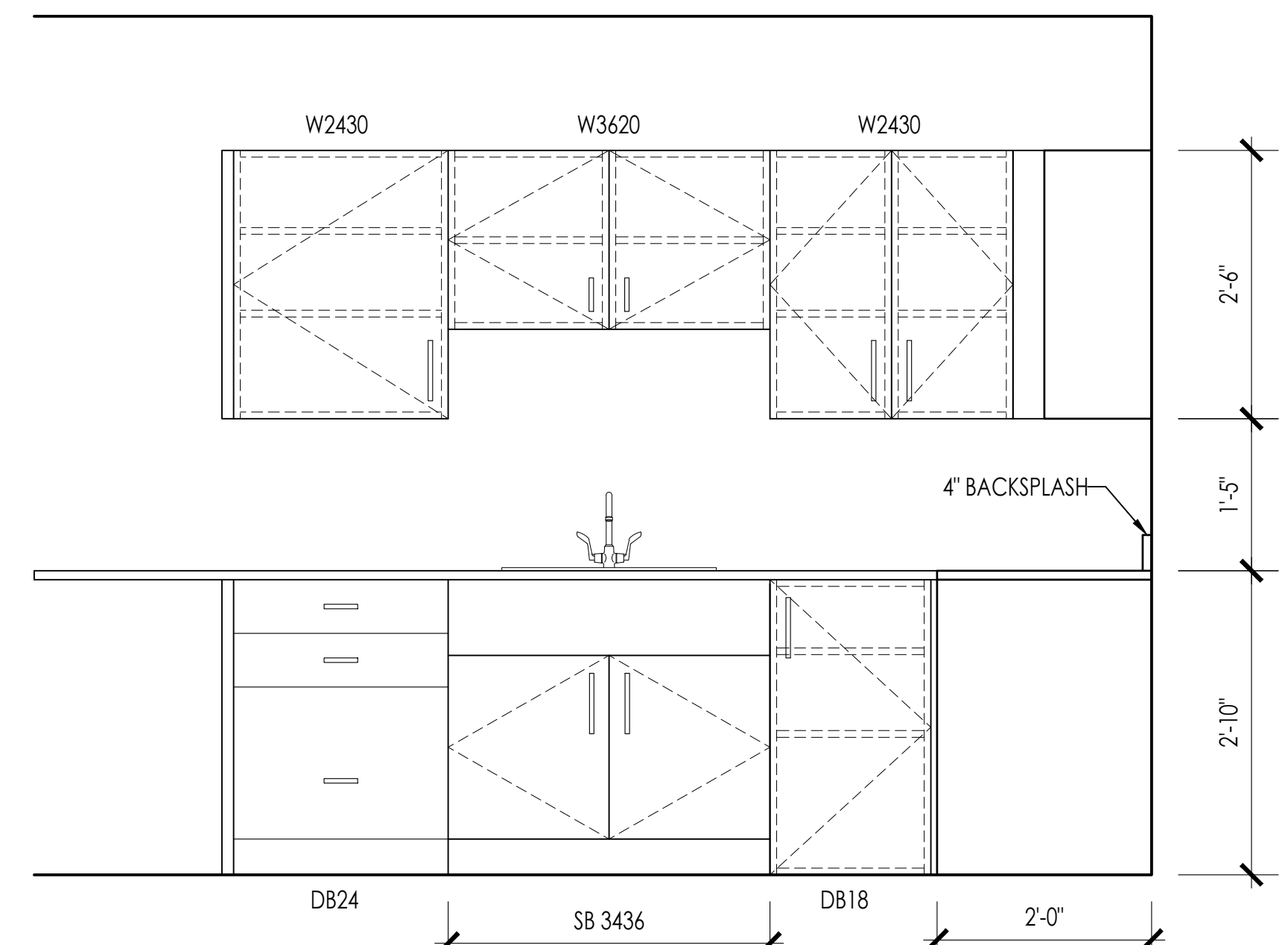
ENLARGED 'TYPE 2' RCP  
 SCALE: 3/8" = 1'-0"  
 2 A-6.1



TYPICAL 'TYPE 2' KITCHEN ELEVATION  
 SCALE: 3/4" = 1'-0"  
 1 A-6.1



TYPICAL 'TYPE 2' KITCHEN ELEVATION  
 SCALE: 3/4" = 1'-0"  
 1 A-6.1



TYPICAL 'TYPE 2' KITCHEN ELEVATION  
 SCALE: 3/4" = 1'-0"  
 1 A-6.1

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

REVISION	DATE
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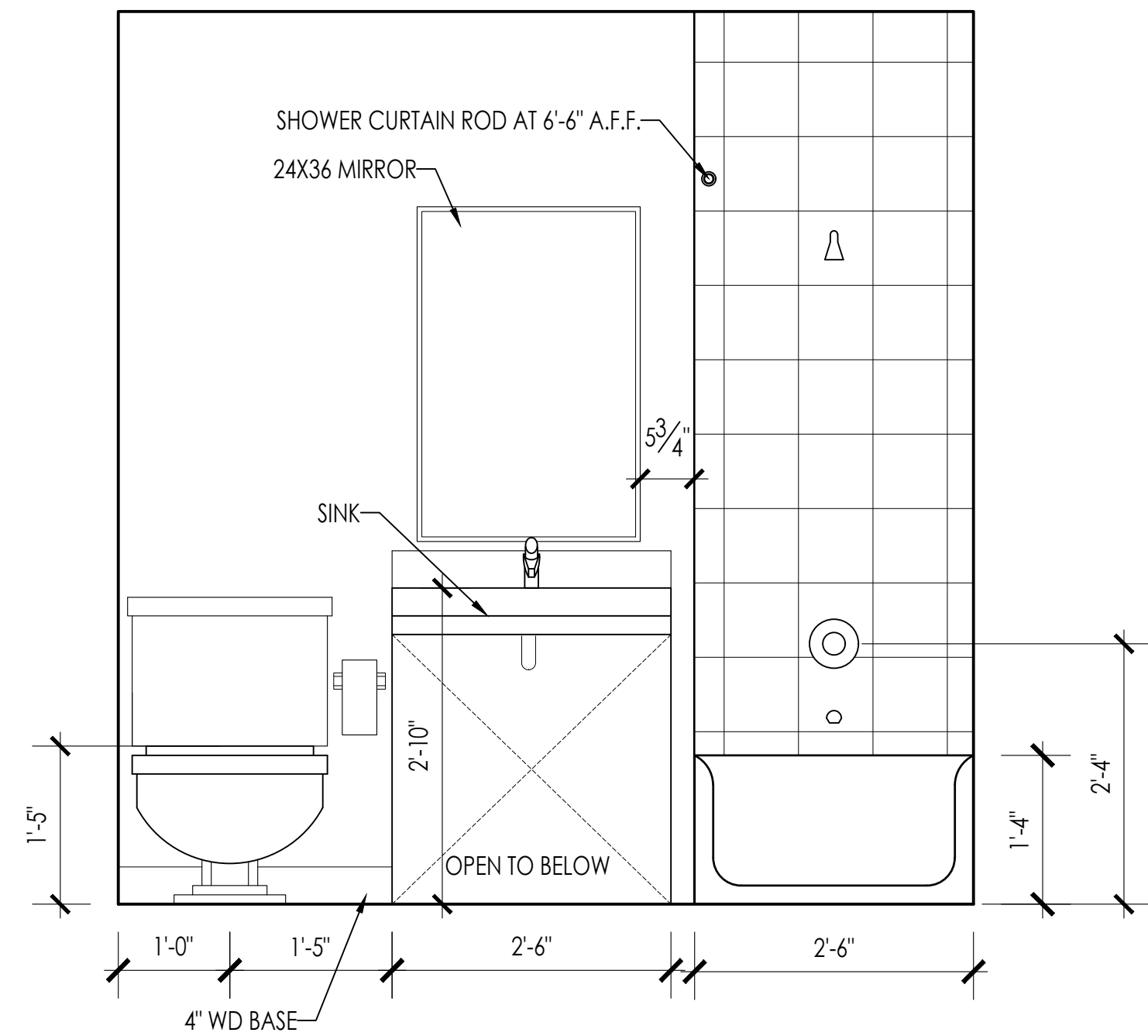
DATE: 02.05.2024  
 SCALE: AS NOTED  
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 DRAWN: JGH  
 CHECKED: JGH  
 PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 ENLARGED UNIT PLANS &  
 ELEVATIONS - TYPE 2

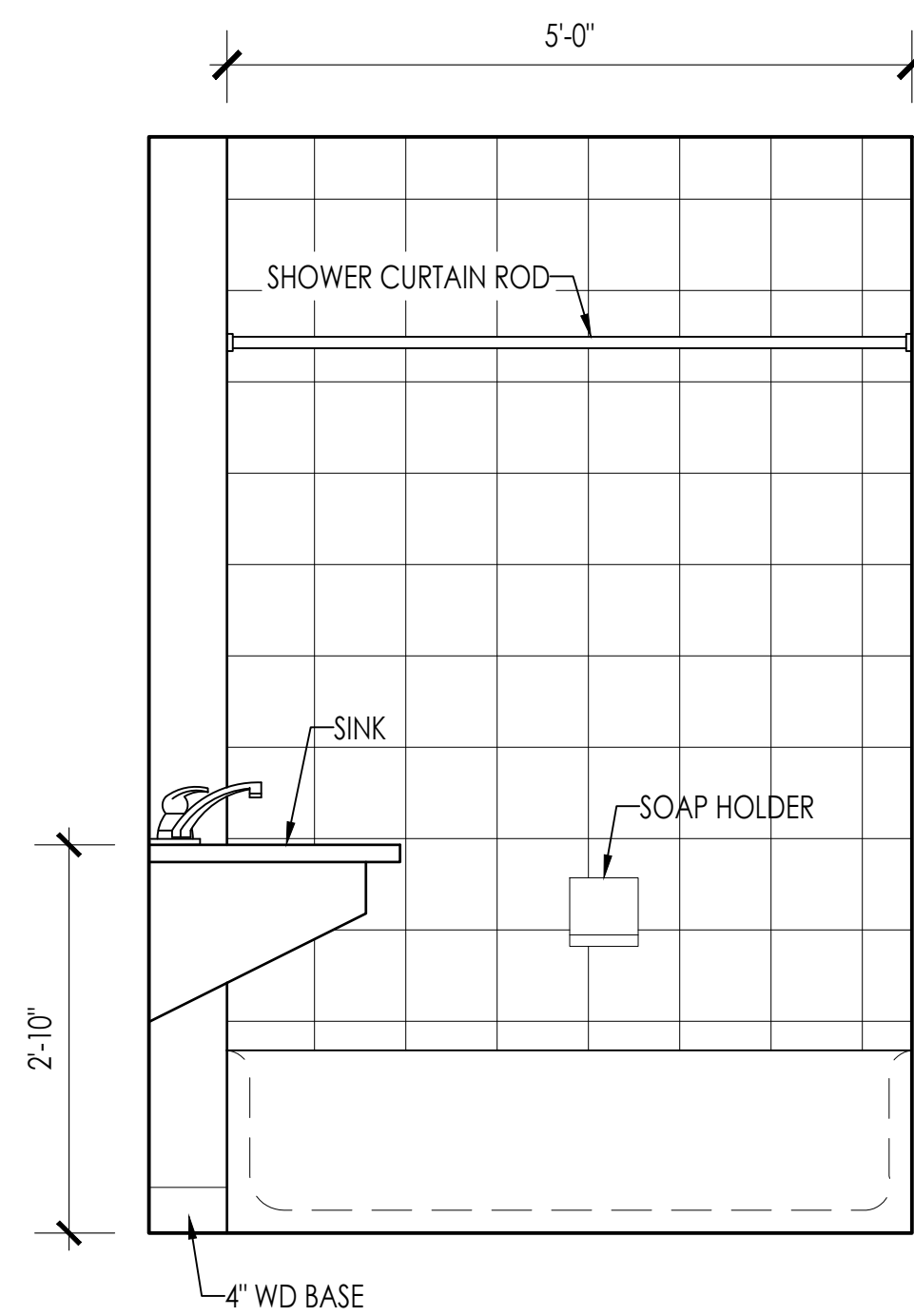
SHEET NUMBER:

A-6.1

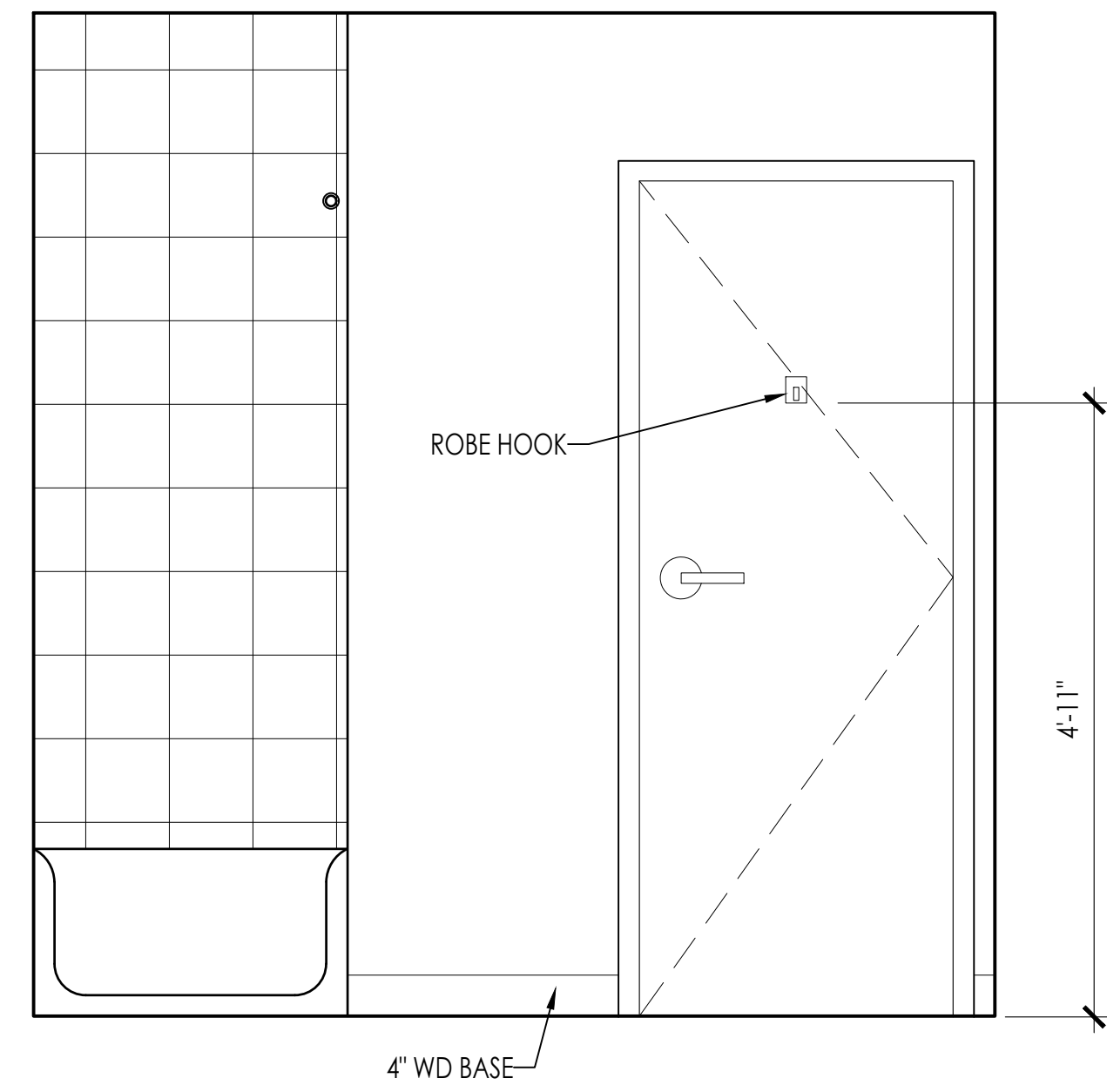




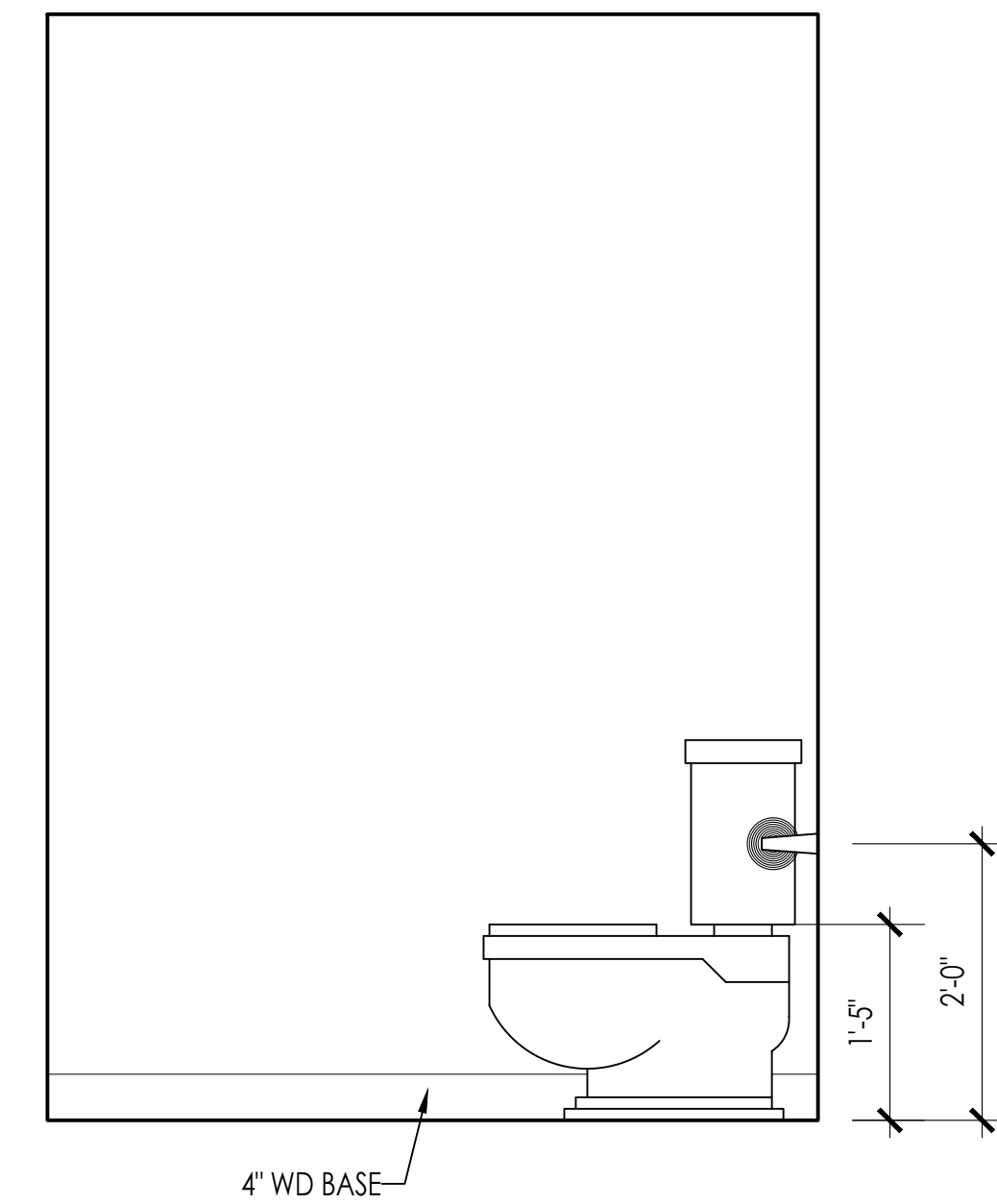
TYPICAL BATHROOM ELEVATION A  
SCALE: 3/4" = 1'-0"



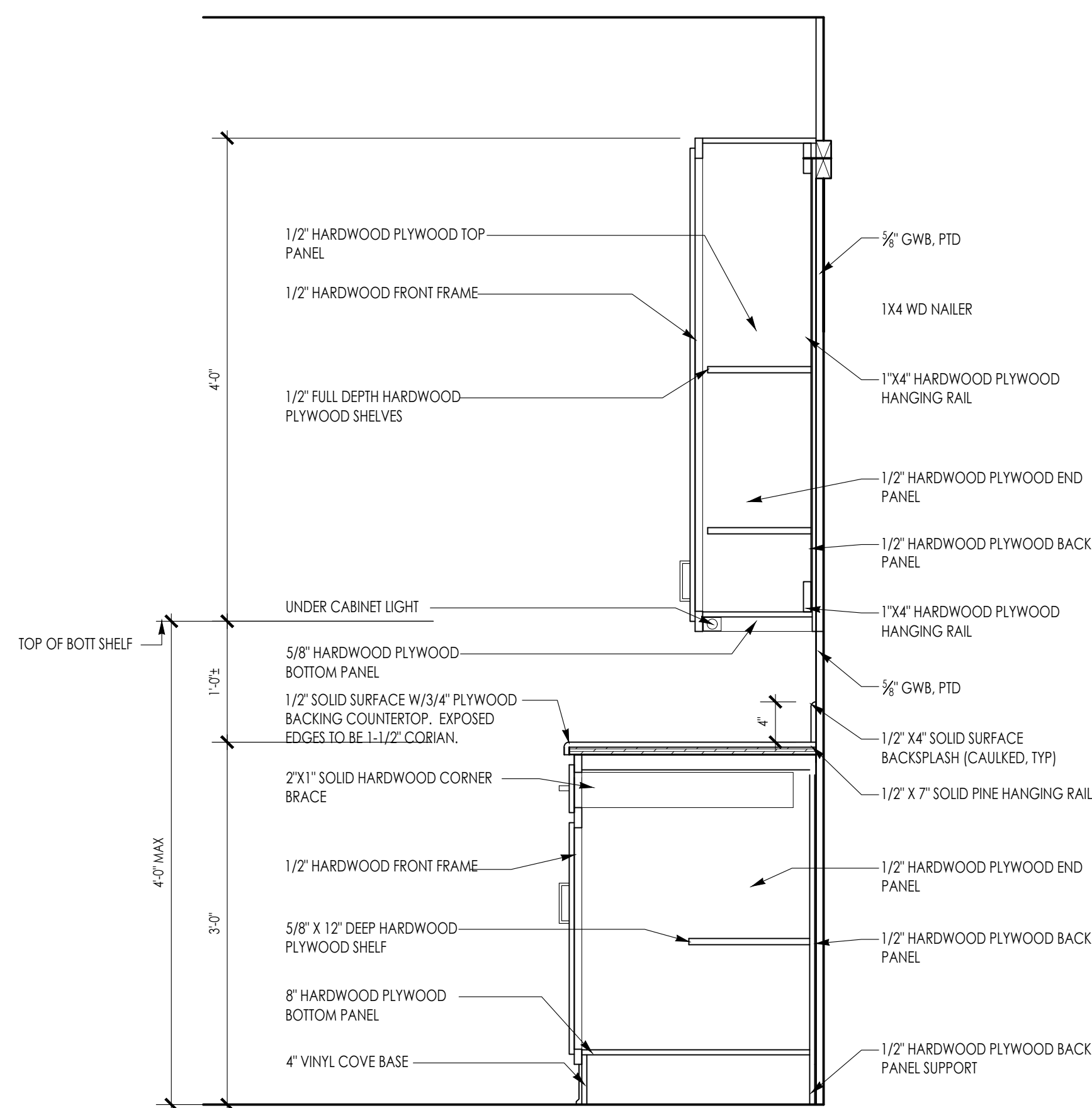
TYPICAL BATHROOM ELEVATION B  
SCALE: 3/4" = 1'-0"



TYPICAL BATHROOM ELEVATION C  
SCALE: 3/4" = 1'-0"



TYPICAL BATHROOM ELEVATION D  
SCALE: 3/4" = 1'-0"



TYPICAL CABINET SECTION 1  
SCALE: 1" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.20.2022
DESIGN DEVELOPMENT	12.08.2023
BID	
PERMIT	
CONSTRUCTION	
EXISTING CONDITIONS	

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REVISION DATE	

DATE:	02.05.2024
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

SHEET TITLE:  
 INTERIOR ELEVATIONS  
 & TYPICAL DETAILS

SHEET NUMBER:

A-6.2

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	12.20.2022
	DESIGN DEVELOPMENT	12.08.2023
	BID	
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

NO.	REVISION	DATE
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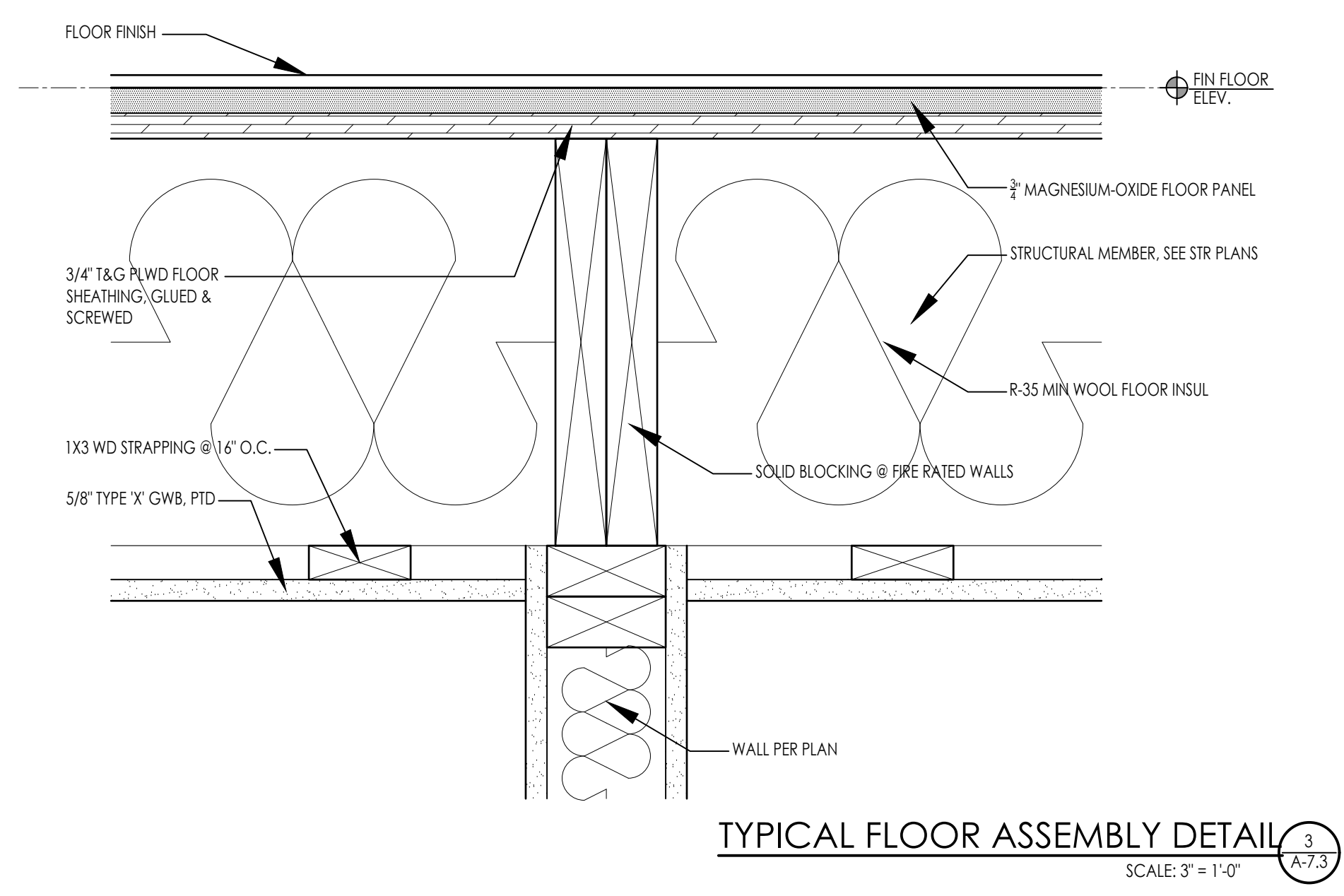
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 CHECKED: JGH

PROJECT TITLE:  
 RESIDENTIAL BUILDING  
 11 PARKER  
 WORCESTER, MA 01610

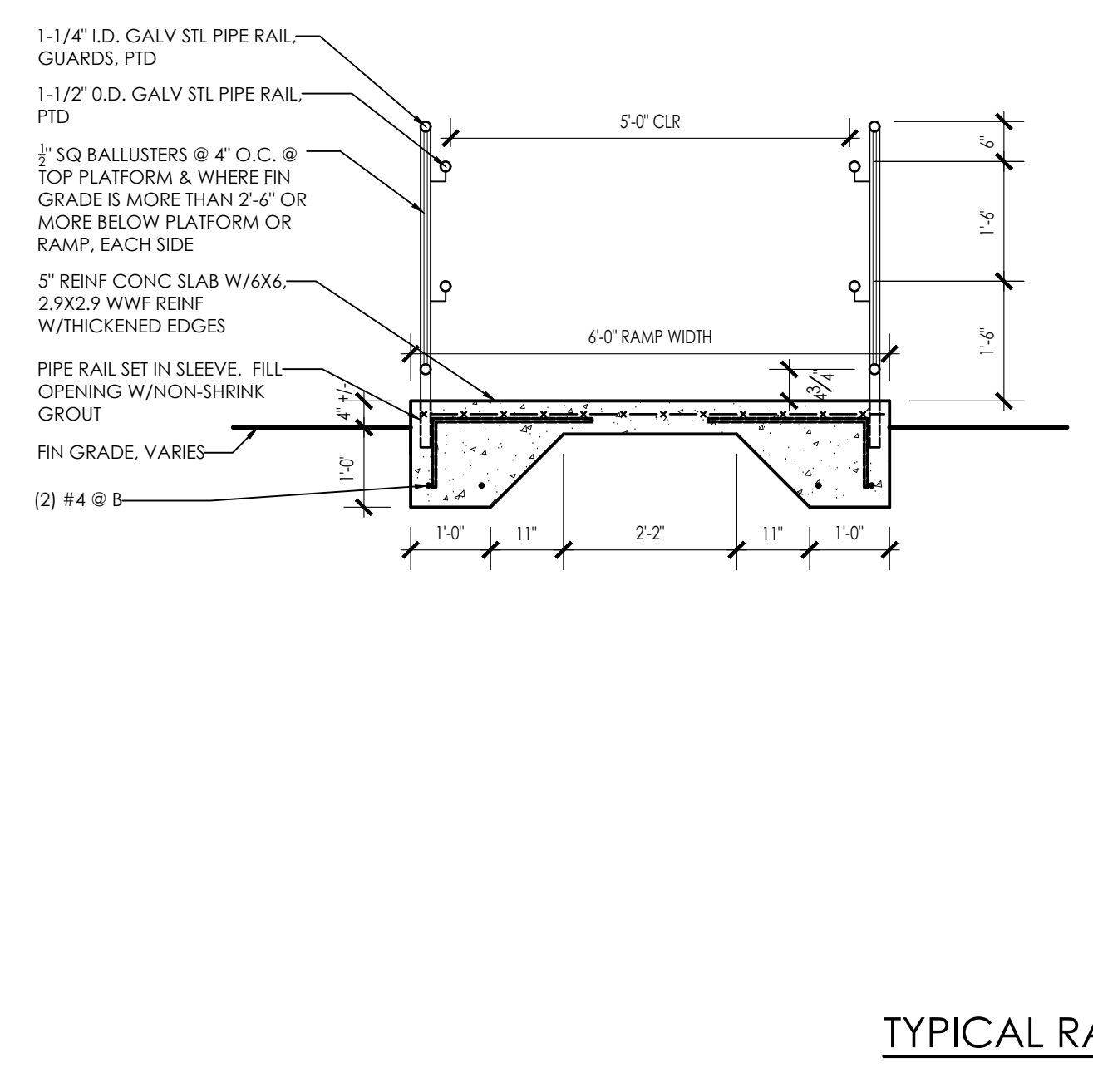
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 TYPICAL RAMP DETAILS

SHEET NUMBER:

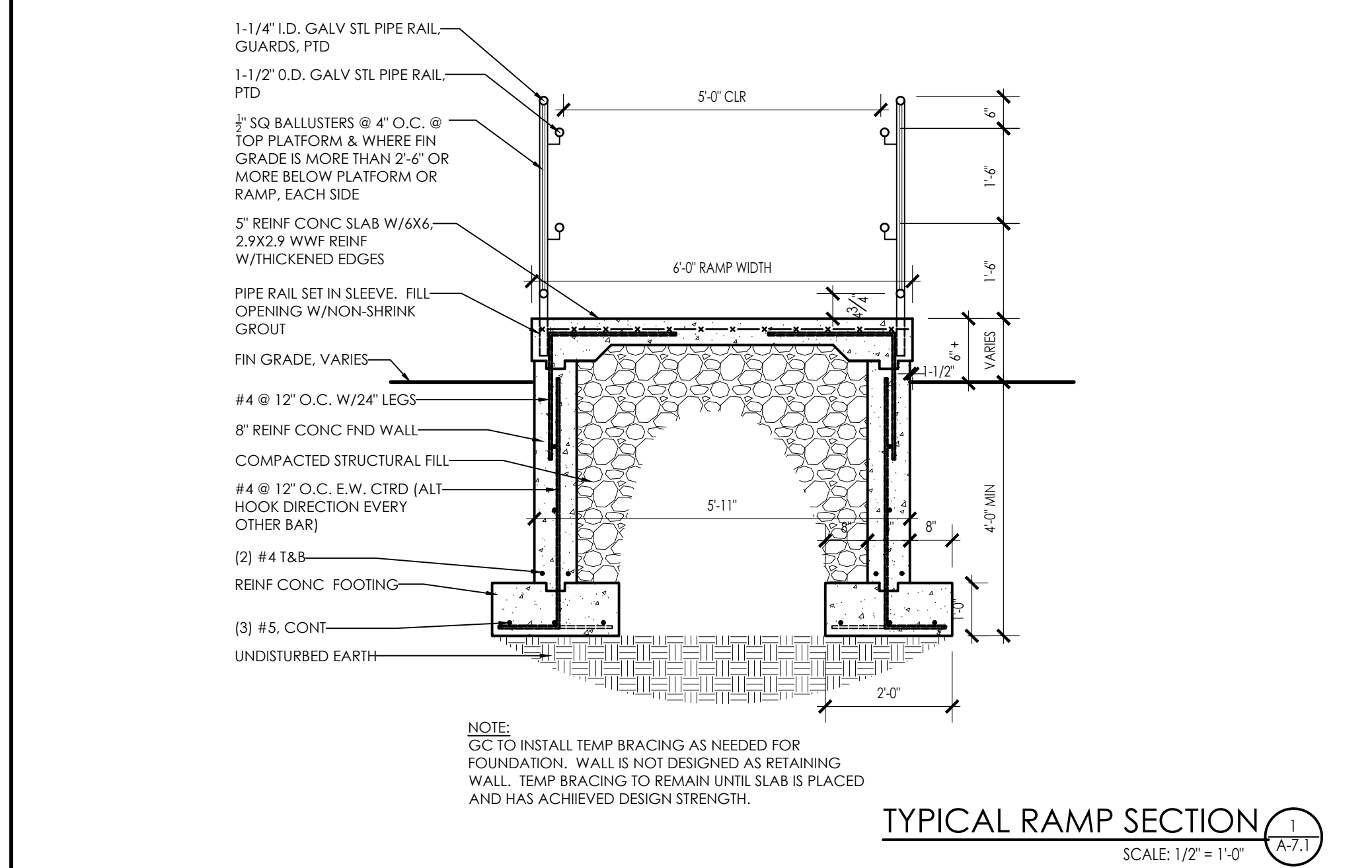
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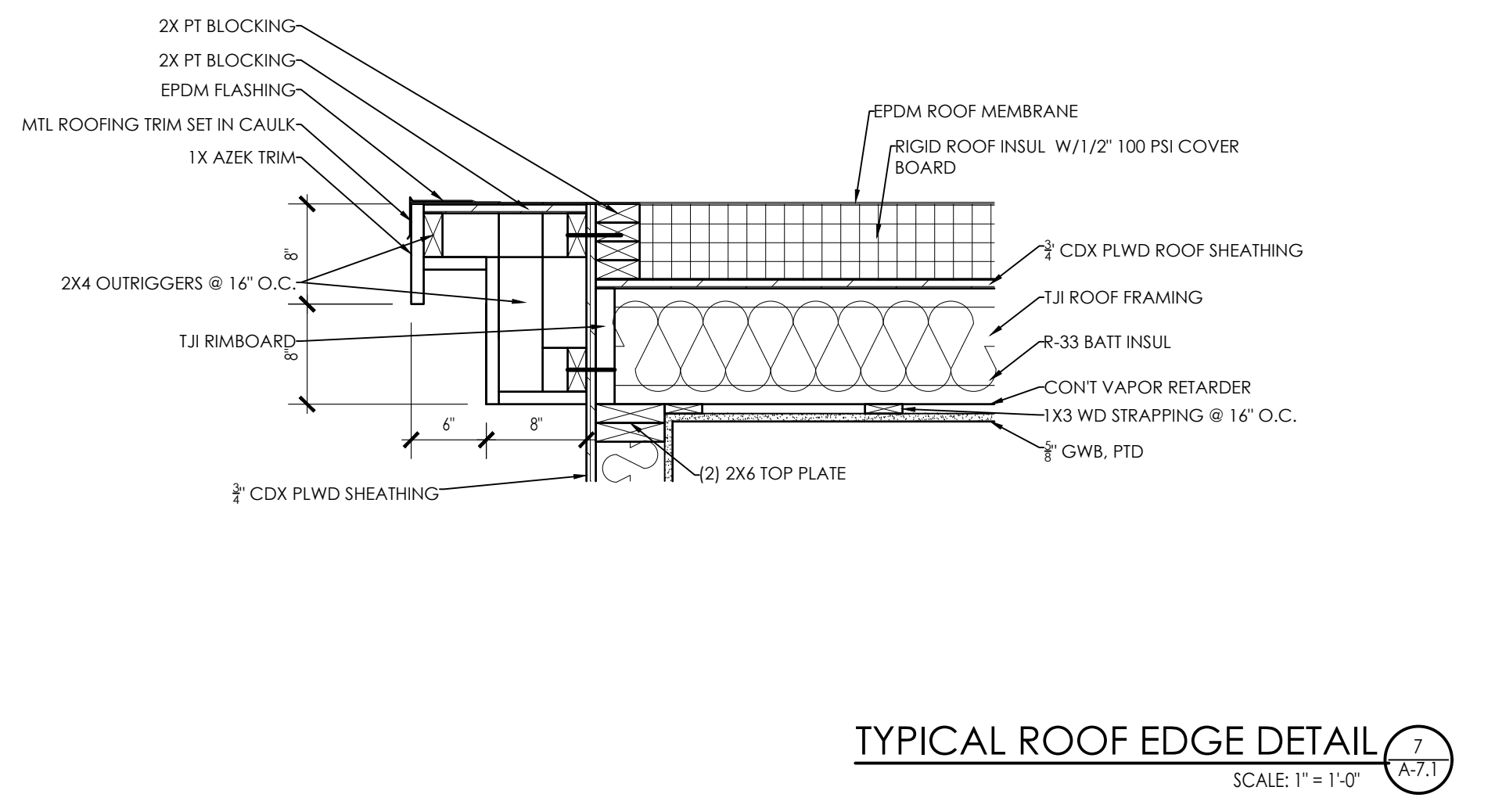
**TYPICAL FLOOR ASSEMBLY DETAIL (3)**  
 SCALE: 3" = 1'-0"



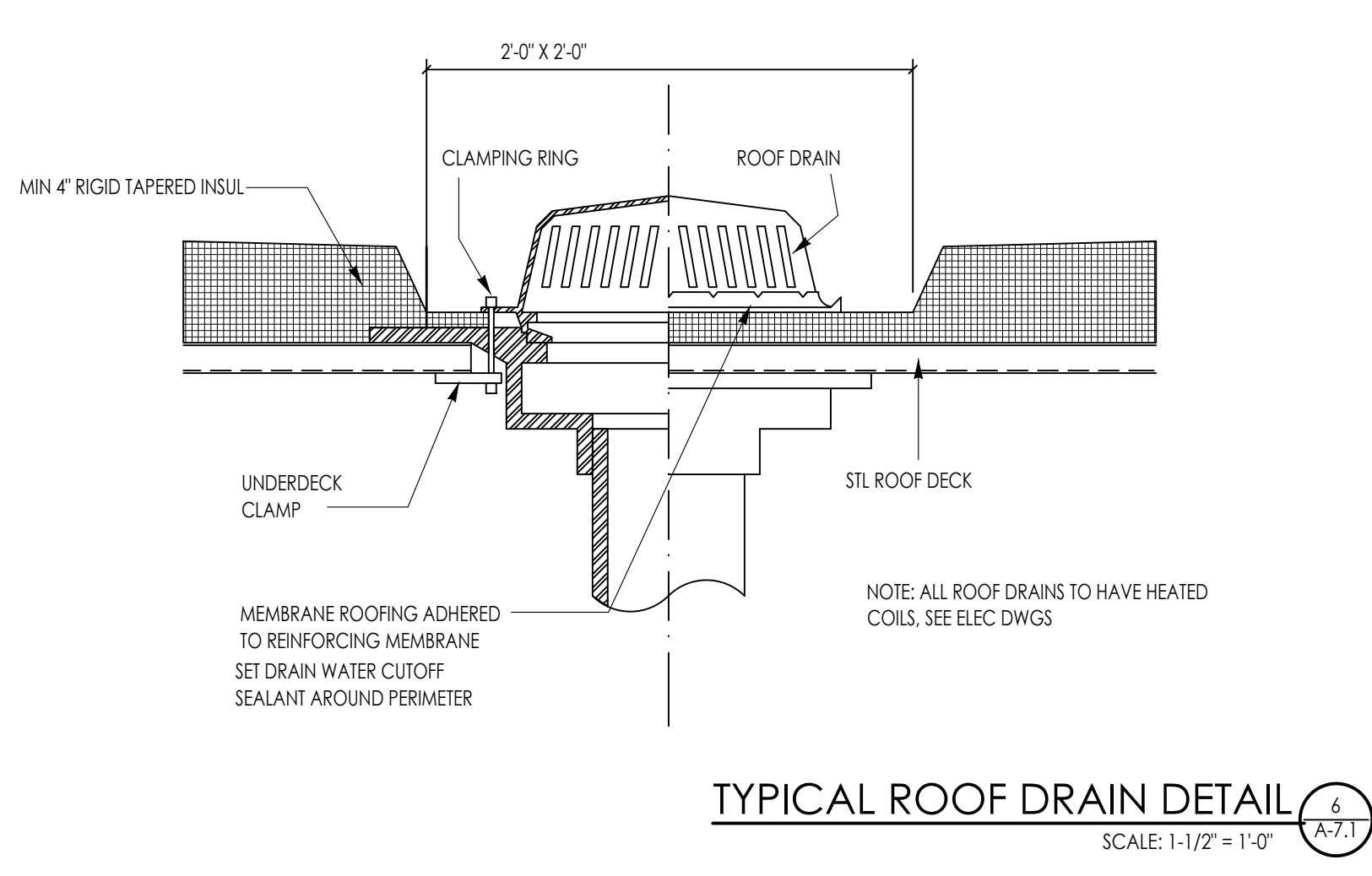
**TYPICAL RAMP SECTION (2)**  
 SCALE: 1/2" = 1'-0"



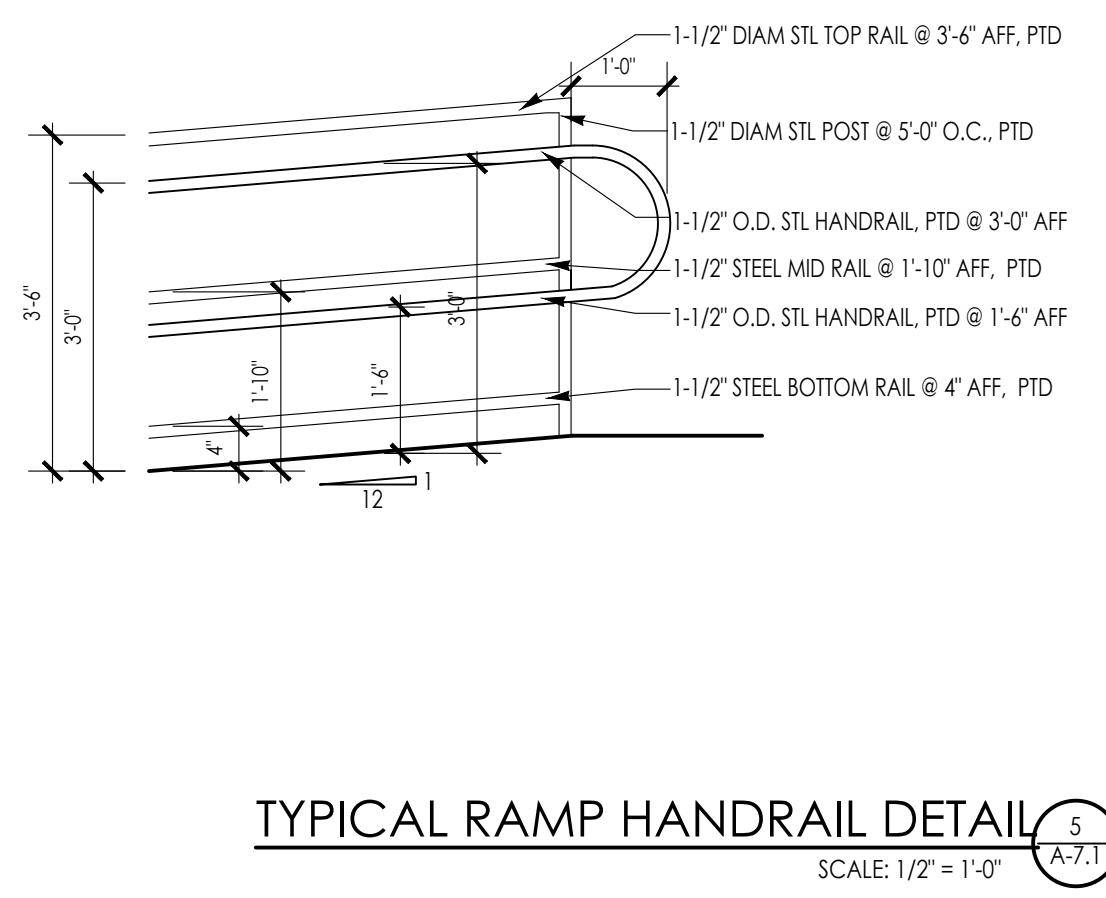
**TYPICAL RAMP SECTION (1)**  
 SCALE: 1/2" = 1'-0"



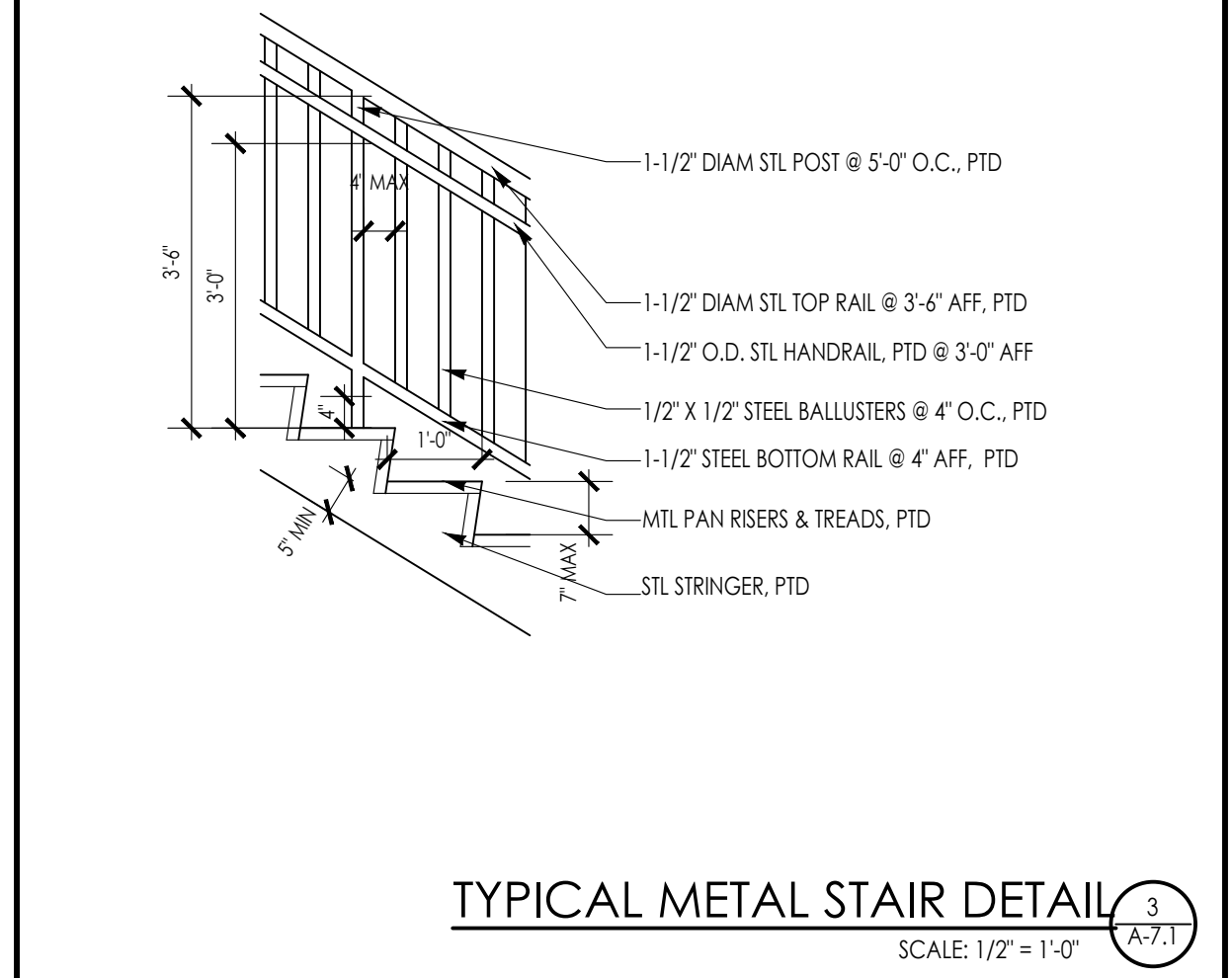
**TYPICAL ROOF EDGE DETAIL (7)**  
 SCALE: 1" = 1'-0"



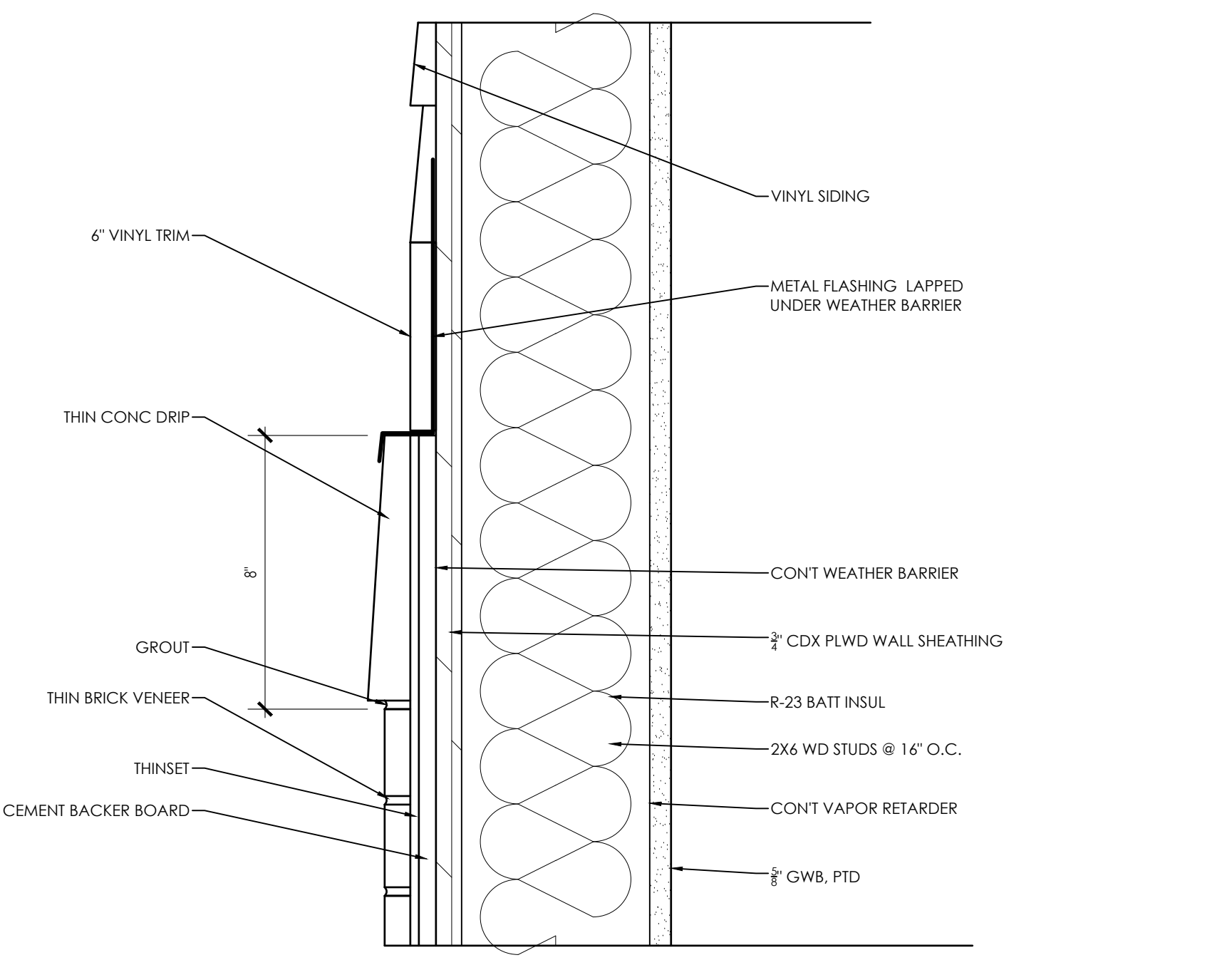
**TYPICAL ROOF DRAIN DETAIL (6)**  
 SCALE: 1-1/2" = 1'-0"



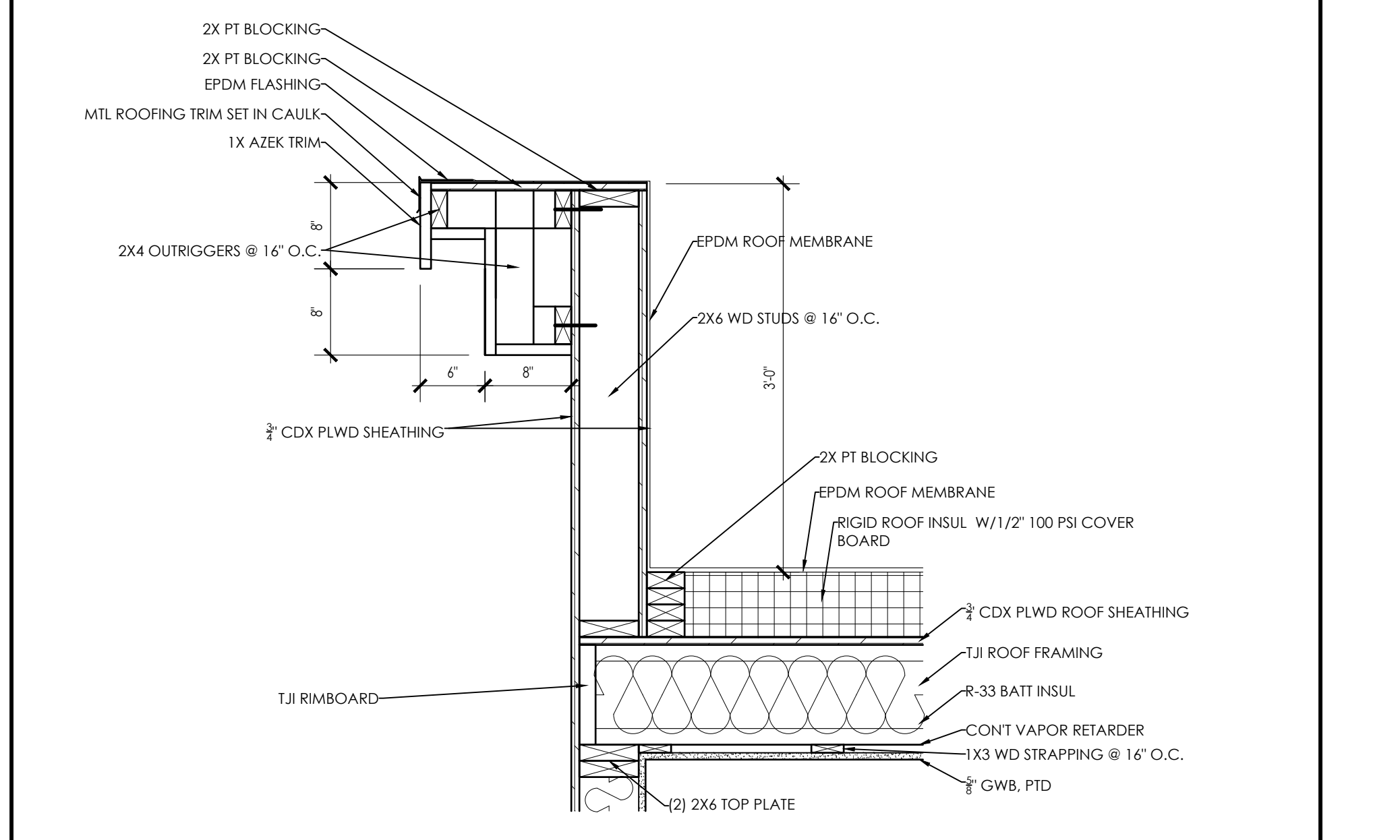
**TYPICAL RAMP HANDRAIL DETAIL (5)**  
 SCALE: 1/2" = 1'-0"



**TYPICAL METAL STAIR DETAIL (3)**  
 SCALE: 1/2" = 1'-0"



**DETAIL @ THIN BRICK VENEER (9)**  
 SCALE: 3" = 1'-0"



**TYPICAL ROOF PARAPET DETAIL (8)**  
 SCALE: 1" = 1'-0"





# NEW CONSTRUCTION: PROPOSED MULTI-FAMILY

**PROJECT LOCATION**  
53 MASON STREET  
WORCESTER, MA

**DEVELOPER**  
POLAR VIEWS  
89 WEST MAIN STREET, UNIT 101  
NORTHBOROUGH, MA 01532  
MR DANIEL YARNIE

**ARCHITECT**  
DIXON SALO ARCHITECTS, INC.  
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**STRUCTURAL ENGINEER**  
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48 GROVE STREET  
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**MECHANICAL ENGINEER**  
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MR. ANUP KHATRA  
ANUP@AKALENGINEERING.COM

## LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
<b>ARCHITECTURAL</b>	
A-1.0	PROPOSED BASEMENT PLAN
A-1.1	PROPOSED FIRST FLOOR PLAN
A-1.2	PROPOSED SECOND FLOOR PLAN
A-1.3	PROPOSED ROOF PLAN
A-2.1	BUILDING ELEVATION - FRONT
A-2.2	BUILDING ELEVATION - RIGHT SIDE
A-2.3	BUILDING ELEVATION - REAR
A-2.4	BUILDING ELEVATION - LEFT SIDE
A-3.1	BUILDING SECTION
A-3.2	BUILDING SECTION
A-3.1	PROPOSED WINDOW TYPES & DETAILS
<b>STRUCTURAL</b>	
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S-0.2	TYPICAL DETAILS
S-0.3	TYPICAL DETAILS
S-1.0	FOUNDATION PLAN
S-1.1	FIRST FLOOR FRAMING PLAN
S-1.2	SECOND FLOOR FRAMING PLAN
S-1.3	ROOF FRAMING PLAN
S-2.1	SECTIONS
S-2.2	SECTIONS



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

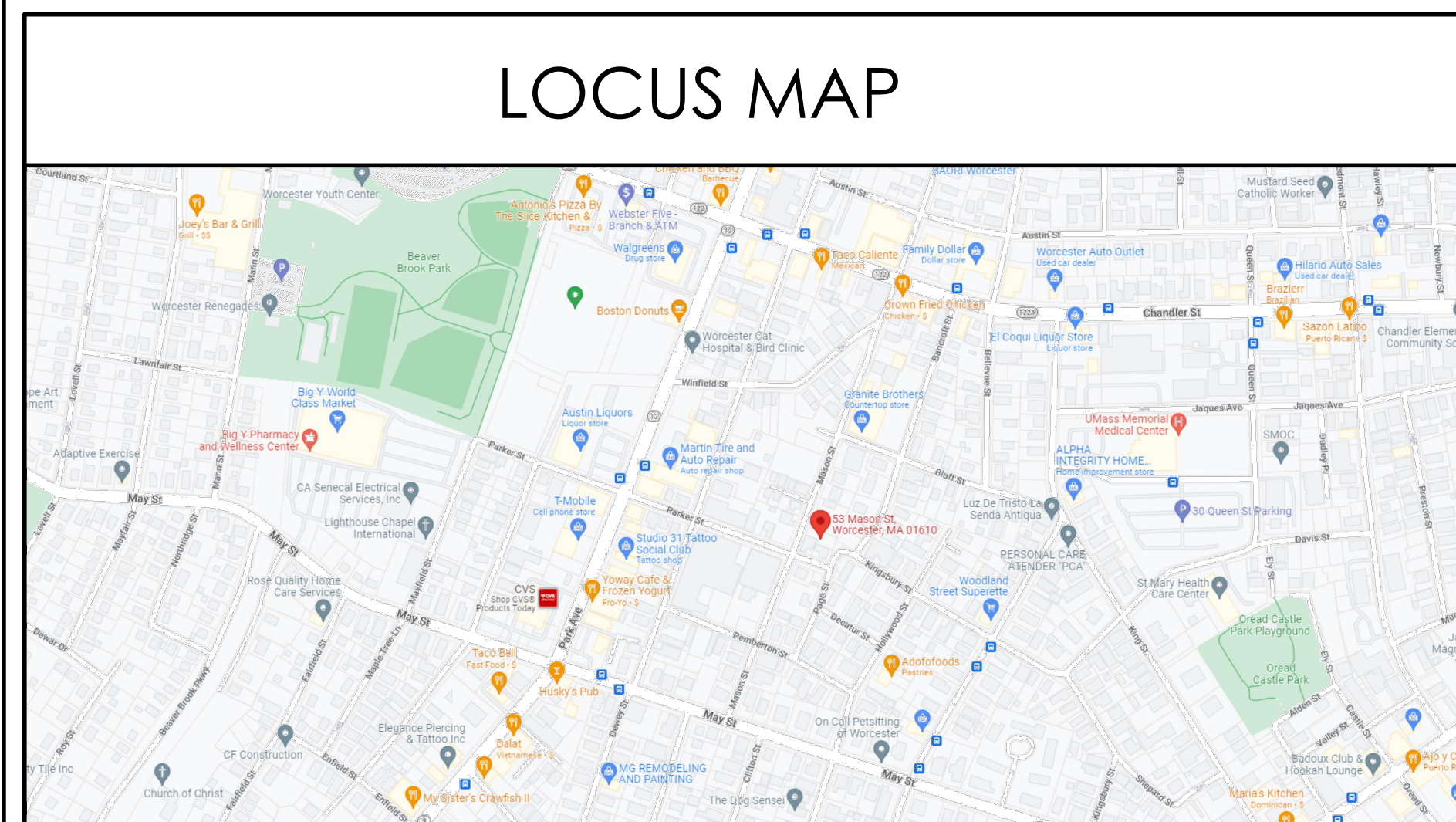
## ABBREVIATIONS

ACOUSTICAL CEILING TILE	A.C.T	MANUFACTURED	MFD
ACOUSTIC	ACST	MARBLE	MAR
ABOVE FINISHED FLOOR	AF	MASONRY	MAS
ALUMINUM	ALUM	MASONRY OPENING	MSRY
ARCHITECT	ARCH	MATERIAL	MAT
AVERAGE	AVG	MASONRY	MW
BEAM	BM	MECHANICAL	MAX
BOARD	BD	METAL	ML
BRASS	BR	METER	M
BRONZE	BRZ	MIRAMIN	MIR
BUILDING	BLDG	MISCELLANEOUS	MISC
BULLET IN	BLIN	MULLION	MULL
CABINET	CAB	NATURAL	NAT
CEILING	CLG	NOMINAL	NOM
CENTER LINE	CL	NOT IN CONTRACT	NIC
CENTIMETER	CM	NOT TO SCALE	NTS
CERAMIC	CER	NUMBER	N
CLEAR	CLR	ON CENTER	OC
COLD WATER	CW	OPENING	OPG
COLUMN	COL	OPPOSITE	OPP
CONCRETE	CONC	PAINTED	PID
CONCRETE MASONRY UNIT	CMU	PARTITION	PTN
CONSTRUCTION	CONST	PLASTER	PLM
CONTINUOUS	CONTS	FLUORING	FLW
CONTRACTOR	CONTR	PLASTIC LAMINATE	PLAM
DEMOLITION	DEMO	PRESSURE TREATED	PLWD
DETAIL	DET	QUANTITY	QTY
DIAMETER	DIA OR	QUARRY TILE	QT
DOWN	DN	RADIUS	R
DRAWING	DWG	REFERENCE	REF
DRINKING FOUNTAIN	DF	REINFORCE	REIN
EACH	EAC	REMOVE	RMV
ELECTRIC	ELEC	REQUIRED	REQD
ELECTRIC WATER COOLER	EW	REVISION	RS
EQUAL	EQ	ROOM	RM
EQUIPMENT	EQP	ROUGH OPENING	RO
ESTIMATE	EST	SCHEDULE	SCH
EXISTING	EXIST	SECTION	SECT
EXTERIOR	EXT	SHEET	SH
FABRICATE	FAB	SIMILAR	SIM
FEET	OR FT	SOLID CORE	SC
FINISH	FIN	SPECIFICATIONS	SPEC
FINISHED ALL OVER	FAO	SQUARE FEET	SF
FIREPROOF	FP	SQUARE INCHES	SQ IN.
FLOOR	FLR	STAINLESS STEEL	SS
FLOURESCENT	FLR	STANDARD	STD
FULL SIZE	FS	STEEL	STL
FURNISH	FURN	STRUCTURAL	STR
GAUGE	GA	SUSPENDED	SUSP
GENERAL	GRN	SYSTEM	SYS
GLASS	GL	TEMPERATURE	TEMP
GYPSON BOARD	GYP BD	TONGUE & GROOVE	T&G
HARDWARE	HW	TREAD	TR
HARDWOOD	HW	TYPICAL	TYP
HEIGHT	HT	UNFINISHED	UNF
HOLLOW CORE	HC	URNAL	URN
HORIZONTAL	HOR	VENT THROUGH ROOF	VT
HOT WATER	HW	VERIFY IN THE FIELD	VIF
INSULATION	INS	VERTICAL	VCT
INTERIOR	INT	W/VT TILE	WVCT
JUNCTION BOX	JBOX	WARRANTY	WNTY
LAVATORY	LAV	WATER CLOSET	WC
LIGHT	LT	WATERPROOF	WP
LIGHTING	LIC	WEIGHT	WT
LINEAR	LN	WIDTH	W
LINOLEUM	LNO	WITH	W
MANUFACTURER	MFR	WITHOUT	WO
GALVANNEE	GA.V.	WOOD	WD
GYPSON WALL BOARD	GWB	WROUGHT IRON	WI
		YARD	YD

## LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	EXIST WALL TO REMAIN
	EARTH - FILL	DEMO EXIST WALL
	GRAVEL	NEW CONSTRUCTION
	SAND	PULL STATION
	CONCRETE	EMERGENCY EXIT SIGN
	CONCRETE MASONRY	HORN/STROBE
	BRICK	STROBE
	BITUMINOUS CONCRETE	EMERGENCY BATTERY UNIT
	BATT INSULATION	REMOTE HEAD
	RIGID INSULATION	EMERGENCY EXIT SIGN W/BATTERY UNIT
	WOOD - FRAMING	FIRE EXTINGUISHER
	WOOD - FINISH	CARD READER ACCESS
	PLYWOOD - SMALL SCALE	EMERGENCY SHOWER
	ACOUSTICAL TILE	THERMOSTAT
	STEEL	SMOKE DETECTOR
	ALUMINUM	FLOURESCENT LIGHTING FIXTURE
		SPRINKLER HEAD
		HVAC GRILLE - RETURN
		HVAC - SUPPLY
		RECESSED DOWN LIGHT
		MOTION DETECTOR

## LOCUS MAP



	SCHEMATIC	12.16.2022
	DESIGN DEVELOPMENT	12.19.2022
	BID	N/A
	PERMIT	03.21.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
PROPOSED MULTI-FAMILY  
53 MASON STREET  
WORCESTER, MA 01610

SHEET TITLE:  
TITLE SHEET

SHEET NUMBER:  
**T-1.0**

**GENERAL DEMOLITION NOTES**

**A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.**

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANS110.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE. ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES).
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

**B. CUTTING AND PATCHING**

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

**C. M.E.P. DEMOLITION NOTES**

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

**D. CLEANING**

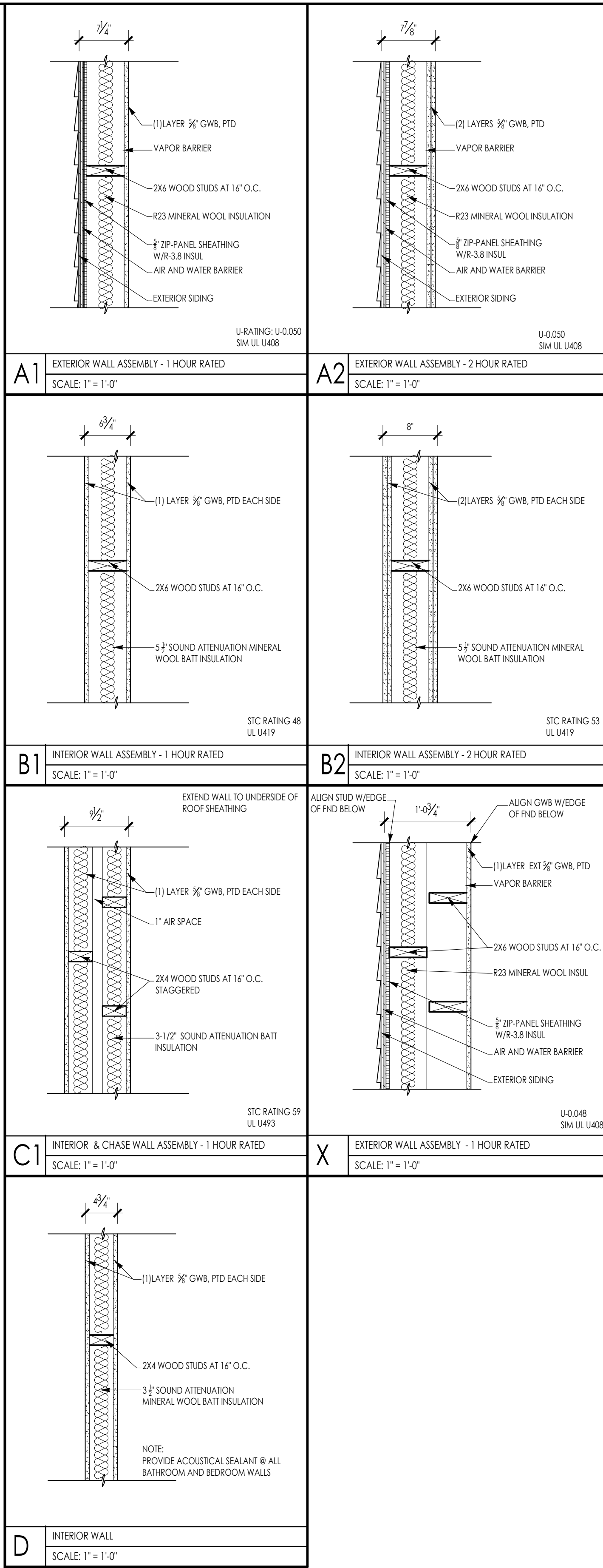
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

**OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS**

- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

**GENERAL CONSTRUCTION NOTES**

- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



ARCHITECT:

**DIXON SALO ARCHITECTS INCORPORATED**  
 300 MAIN STREET, SUITE 200, WORCESTER, MA 01608  
 (508) 752-5333 (F) 508-752-5348  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	12.16.2022
<input type="checkbox"/>	DESIGN DEVELOPMENT	12.19.2022
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	03.21.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	PROPOSED MULTI-FAMILY 53 MASON STREET WORCESTER, MA 01610

SHEET TITLE:  
GENERAL NOTES & DETAILS

SHEET NUMBER:  
**T-1.1**

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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	DESIGN DEVELOPMENT	12.19.2022
	BID	N/A
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	CONSTRUCTION	
	EXISTING CONDITIONS	

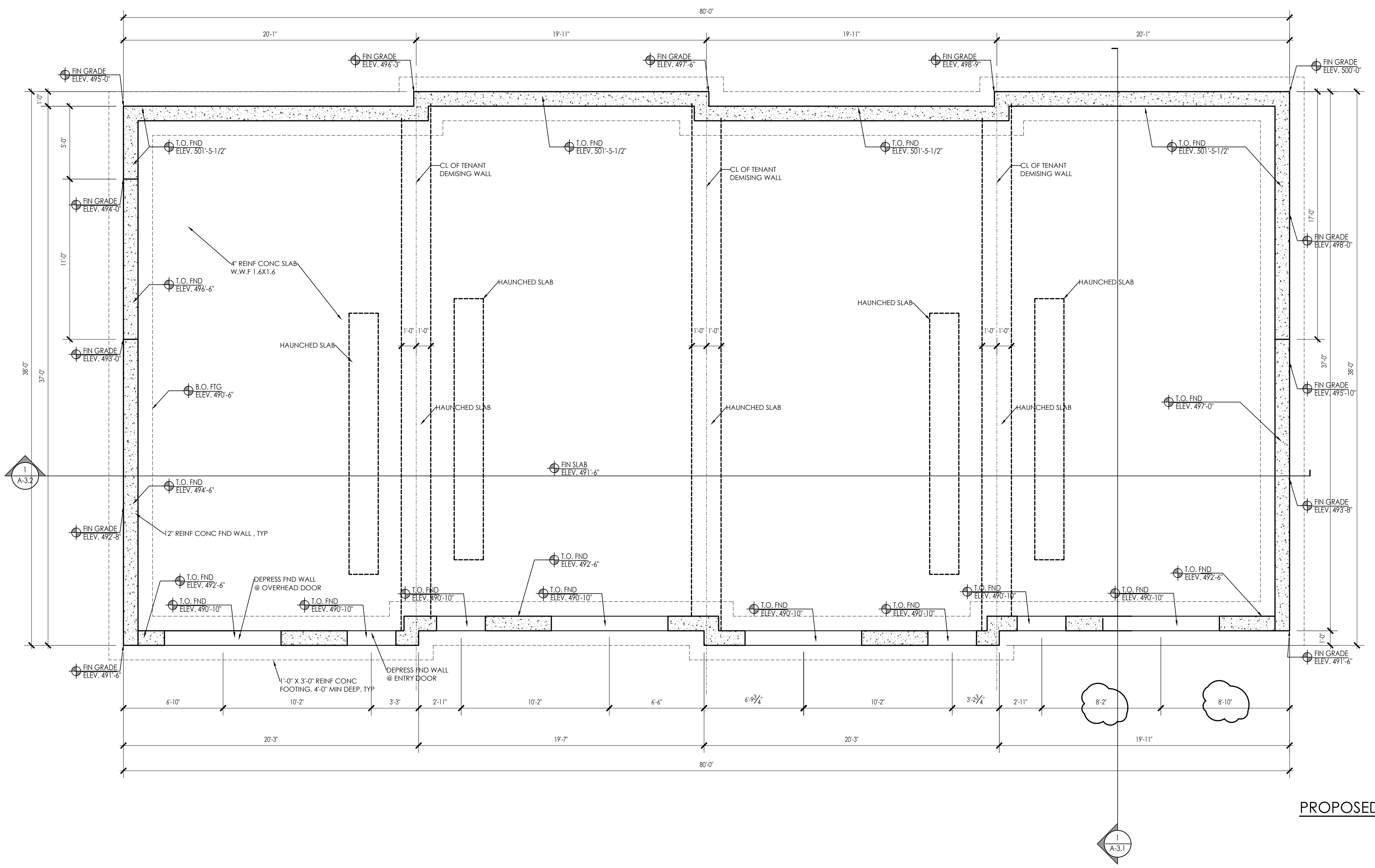
4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
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PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 PROPOSED FOUNDATION PLAN

SHEET NUMBER:  
**A-0.1**



**PROPOSED FOUNDATION PLAN** 1  
 SCALE: 1/4" = 1'-0" A-0.1

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

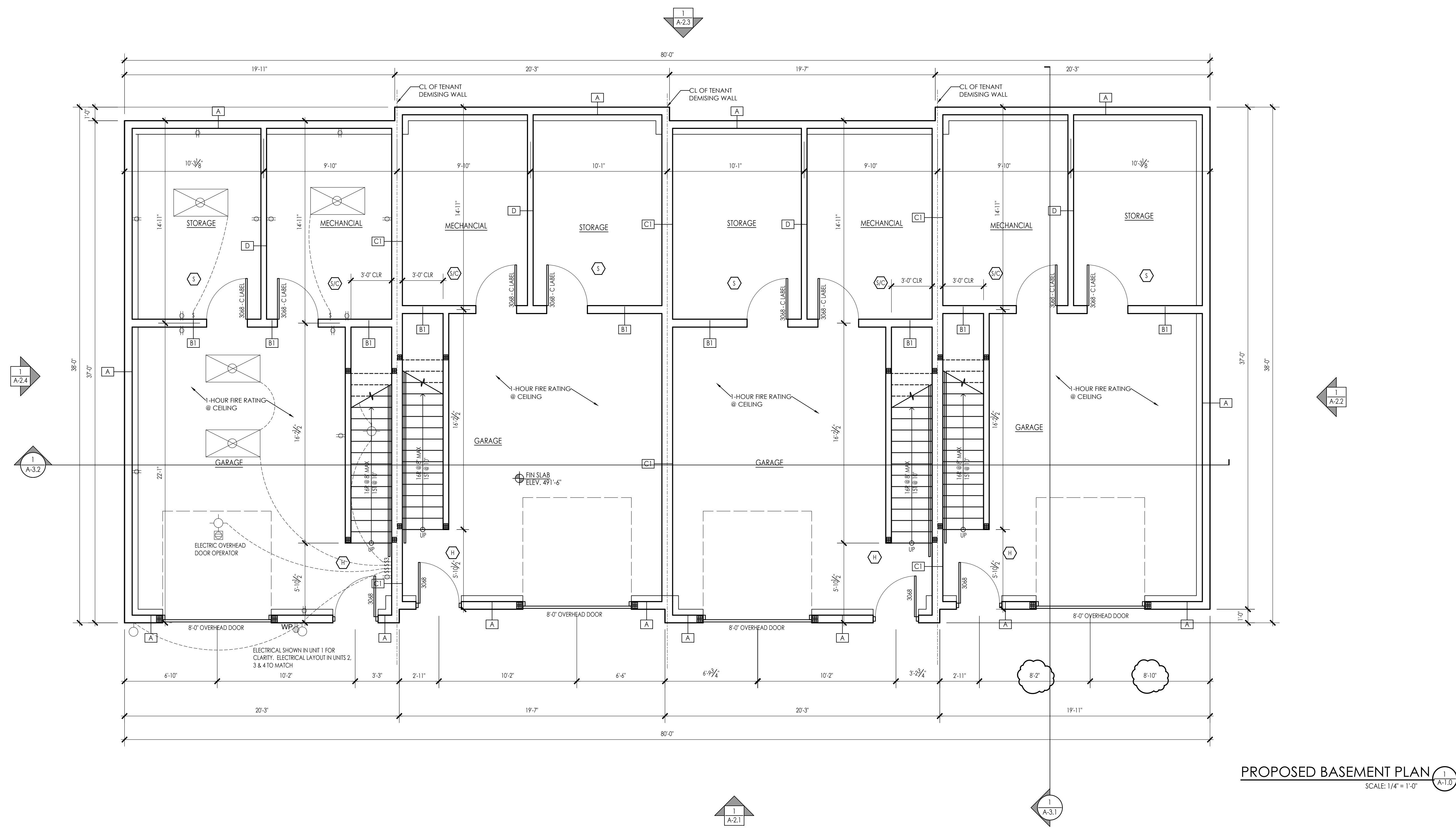
DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 PROPOSED BASEMENT PLAN

SHEET NUMBER:

**A-1.0**



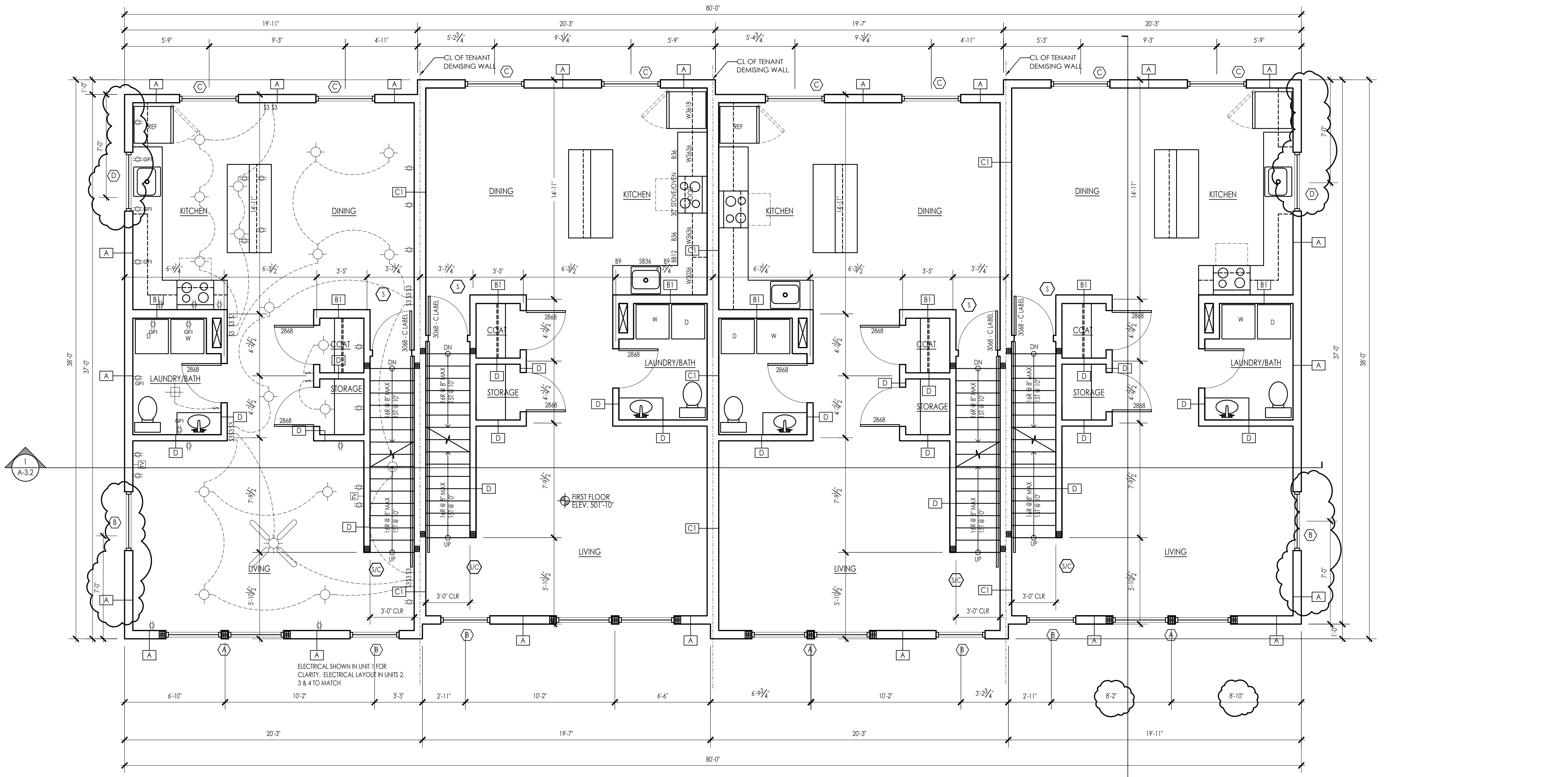


ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:



**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1  
 A-1.1

□	SCHEMATIC	12.16.2022
□	DESIGN DEVELOPMENT	12.19.2022
□	BID	N/A
□	PERMIT	03.21.2023
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:  
**A-1.1**

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

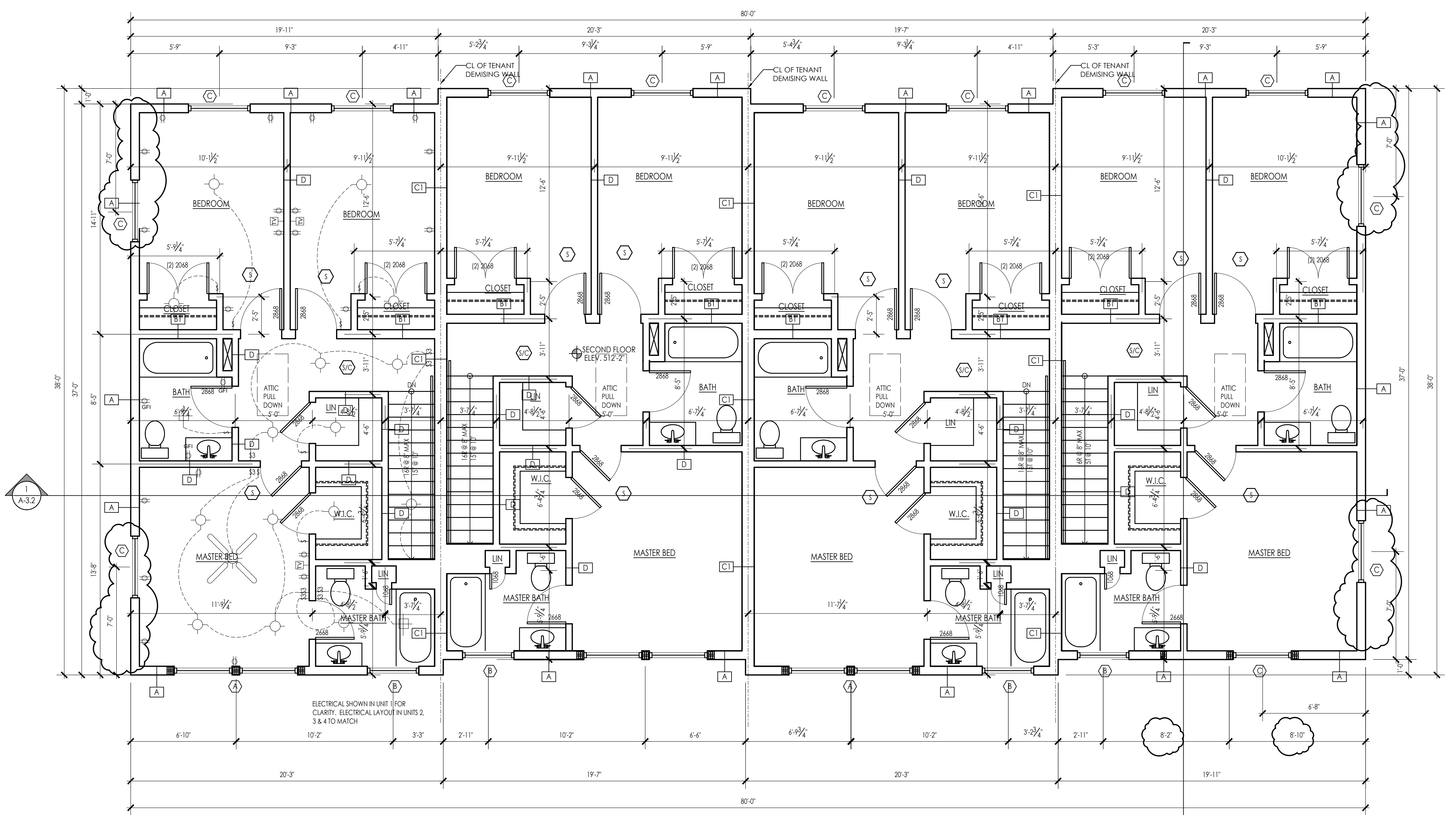
4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

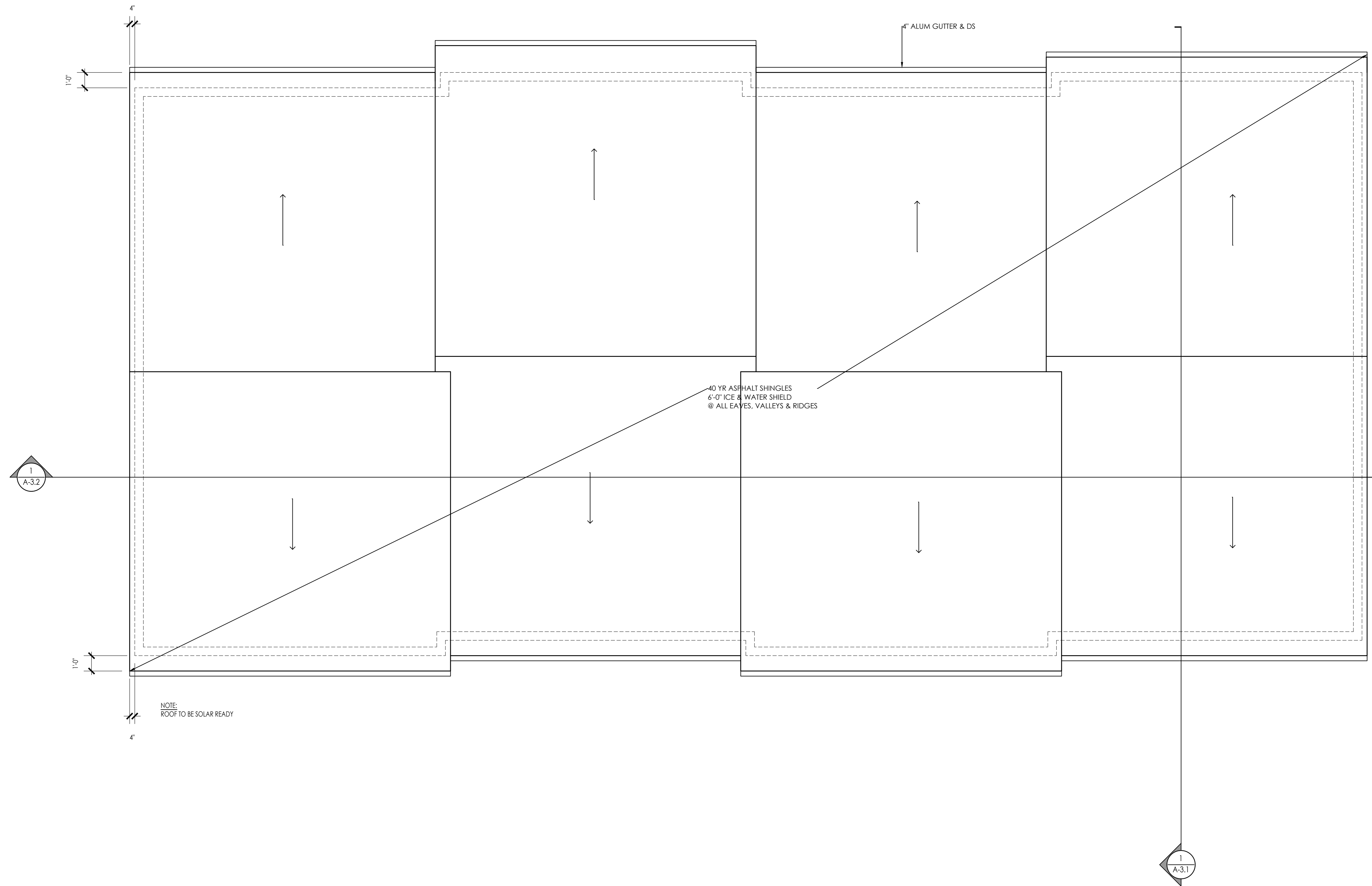
PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:  
**A-1.2**



**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0" 1  
A-1.2



PROPOSED ROOF PLAN 1  
A-1.3  
SCALE: 1/4" = 1'-0"



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	12.16.2022
	DESIGN DEVELOPMENT	12.19.2022
	BID	N/A
	PERMIT	03.21.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
PROPOSED MULTI-FAMILY  
53 MASON STREET  
WORCESTER, MA 01610

SHEET TITLE:  
PROPOSED ROOF PLAN

SHEET NUMBER:  
**A-1.3**



ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
 300 MAIN STREET, SUITE 200  
 WORCESTER, MA 01610  
 (508) 755-0333 (F) (508) 752-5368  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE: 10.23.2023  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

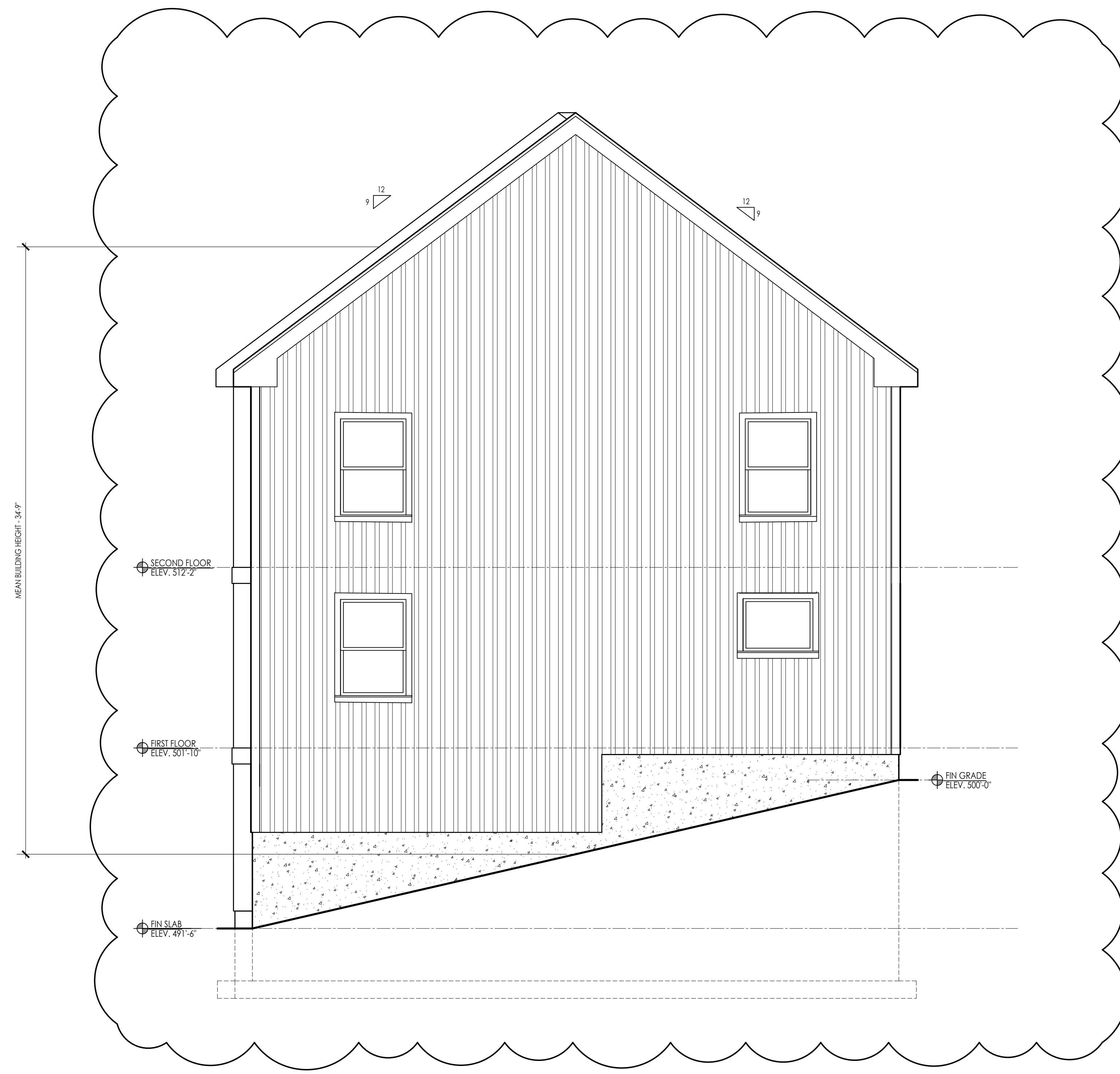
PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATION - FRONT

SHEET NUMBER:

**A-2.1**

BUILDING ELEVATION - FRONT   
 SCALE: 1/4" = 1'-0"



ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
FIRST FLOOR  
 300 MAIN STREET  
 WORCESTER, MA 01608  
 (508) 752-5333 (C) 508-372-5348  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	12.16.2022
	DESIGN DEVELOPMENT	12.19.2022
	BID	N/A
	PERMIT	03.21.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE: 10.23.2023  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATION - RIGHT SIDE

SHEET NUMBER:

**A-2.2**

BUILDING ELEVATION - RIGHT SIDE 1  
A-2.2  
 SCALE: 1/4" = 1'-0"



ARCHITECT:  
  
**DIXON SALO ARCHITECTS**  
 INCORPORATED  
 300 MAIN STREET, FIRST FLOOR  
 WORCESTER, MA 01608  
 (508) 755-0333 (C) 508-372-5368  
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

□	SCHEMATIC	12.16.2022
□	DESIGN DEVELOPMENT	12.19.2022
□	BID	N/A
□	PERMIT	03.21.2023
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
REVISION DATE	

DATE: 10.23.2023  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

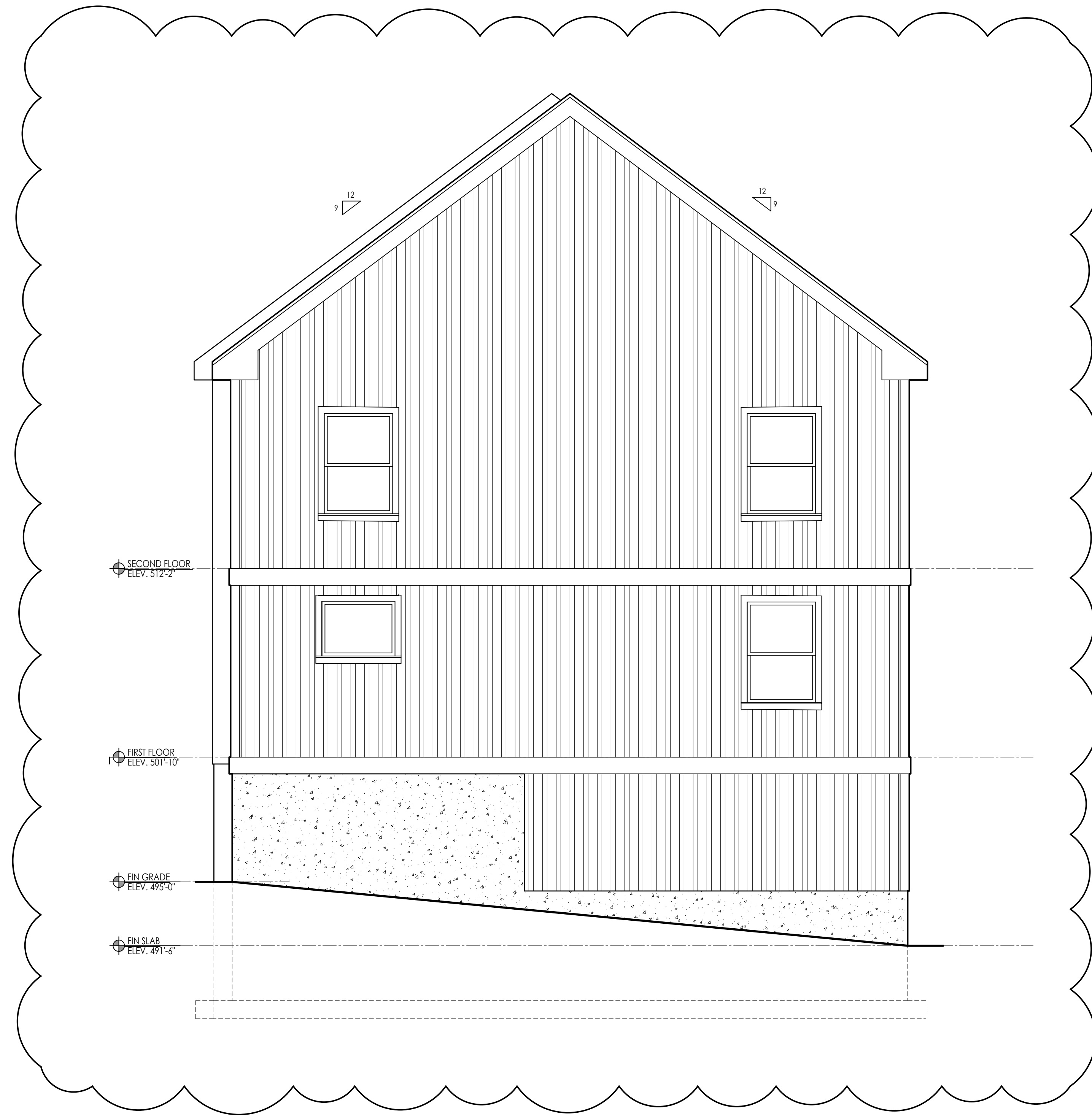
PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATION - REAR

SHEET NUMBER:

**A-2.3**

BUILDING ELEVATION - REAR 1  
A-2.3  
 SCALE: 1/4" = 1'-0"



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE: 10.23.2023  
 SCALE: AS NOTED  
 PROJECT: - -  
 DRAWN: JGH  
 CHECKED: JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING ELEVATION - LEFT SIDE

SHEET NUMBER:

**A-2.4**

BUILDING ELEVATION - LEFT SIDE 1  
A-2.4  
 SCALE: 1/4" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

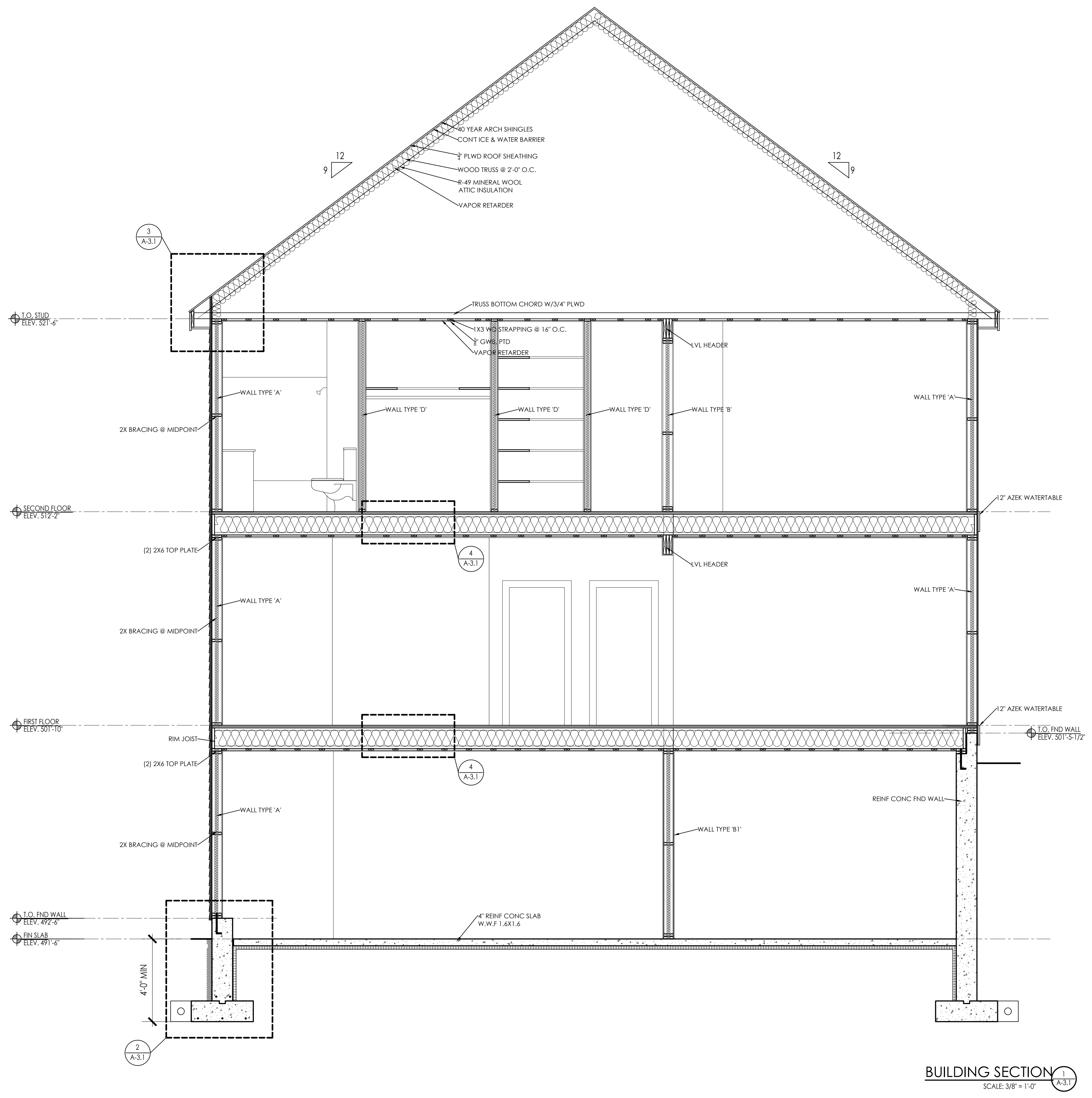
DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
**PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610**

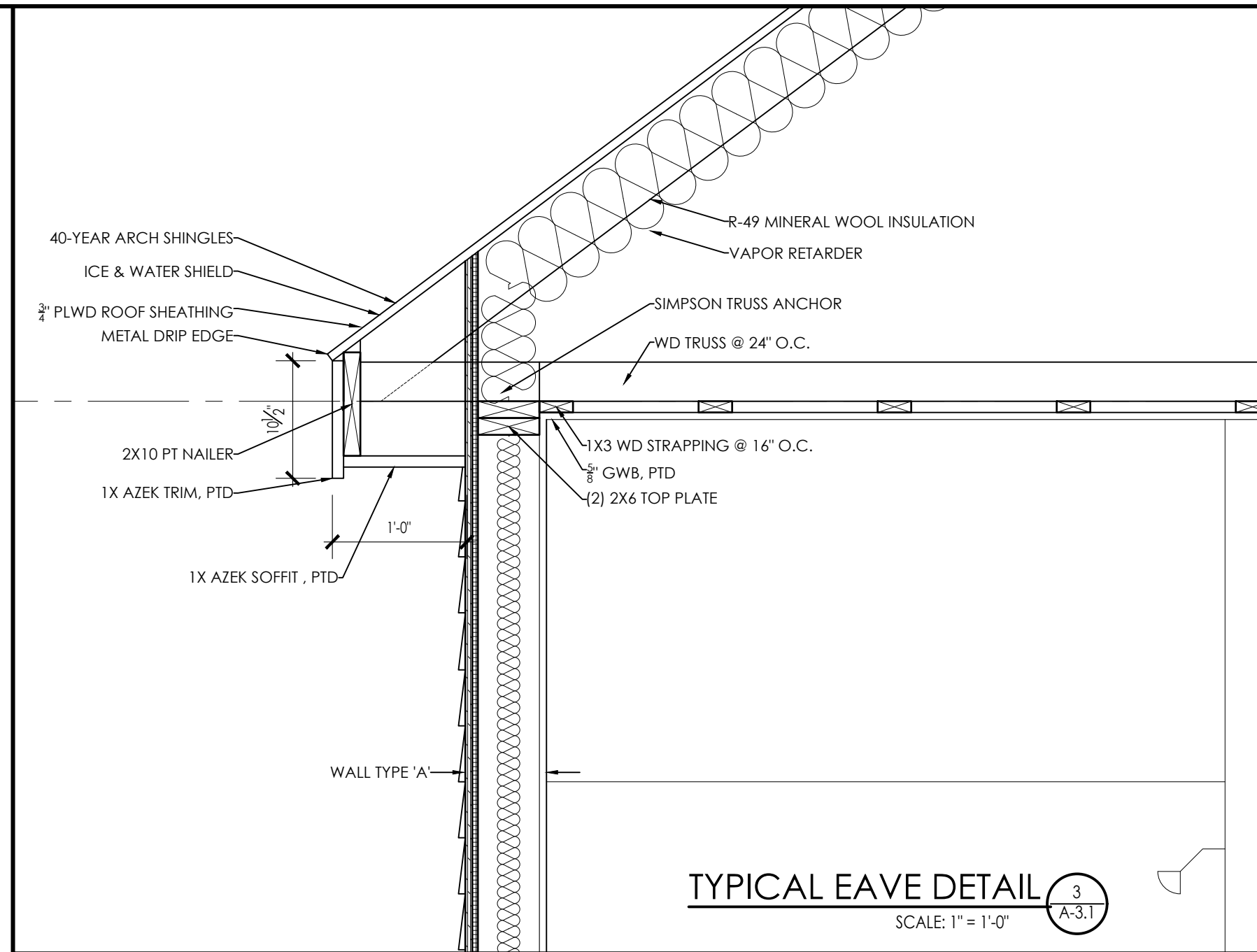
SHEET TITLE:  
**BUILDING SECTION**

SHEET NUMBER:

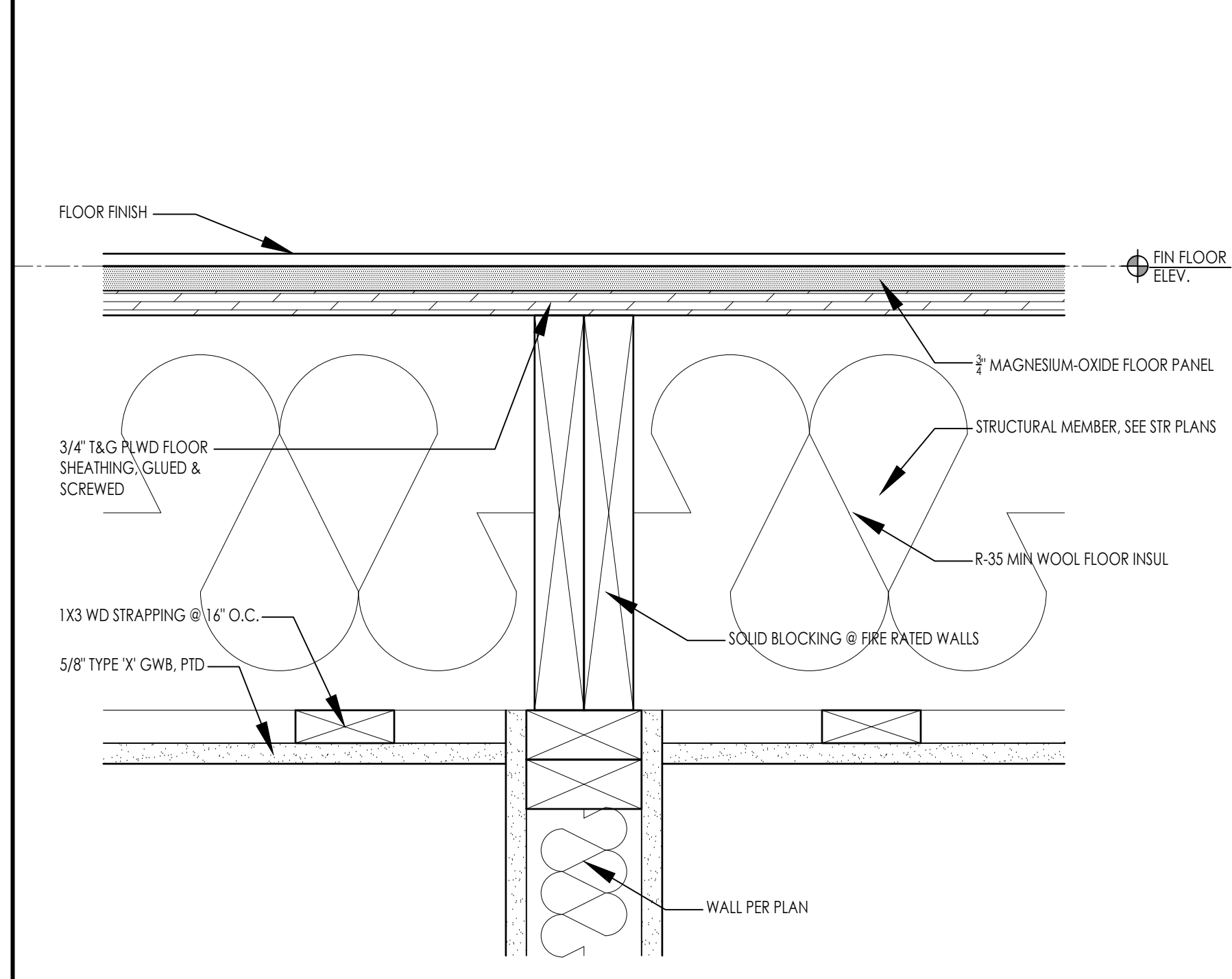
**A-3.1**



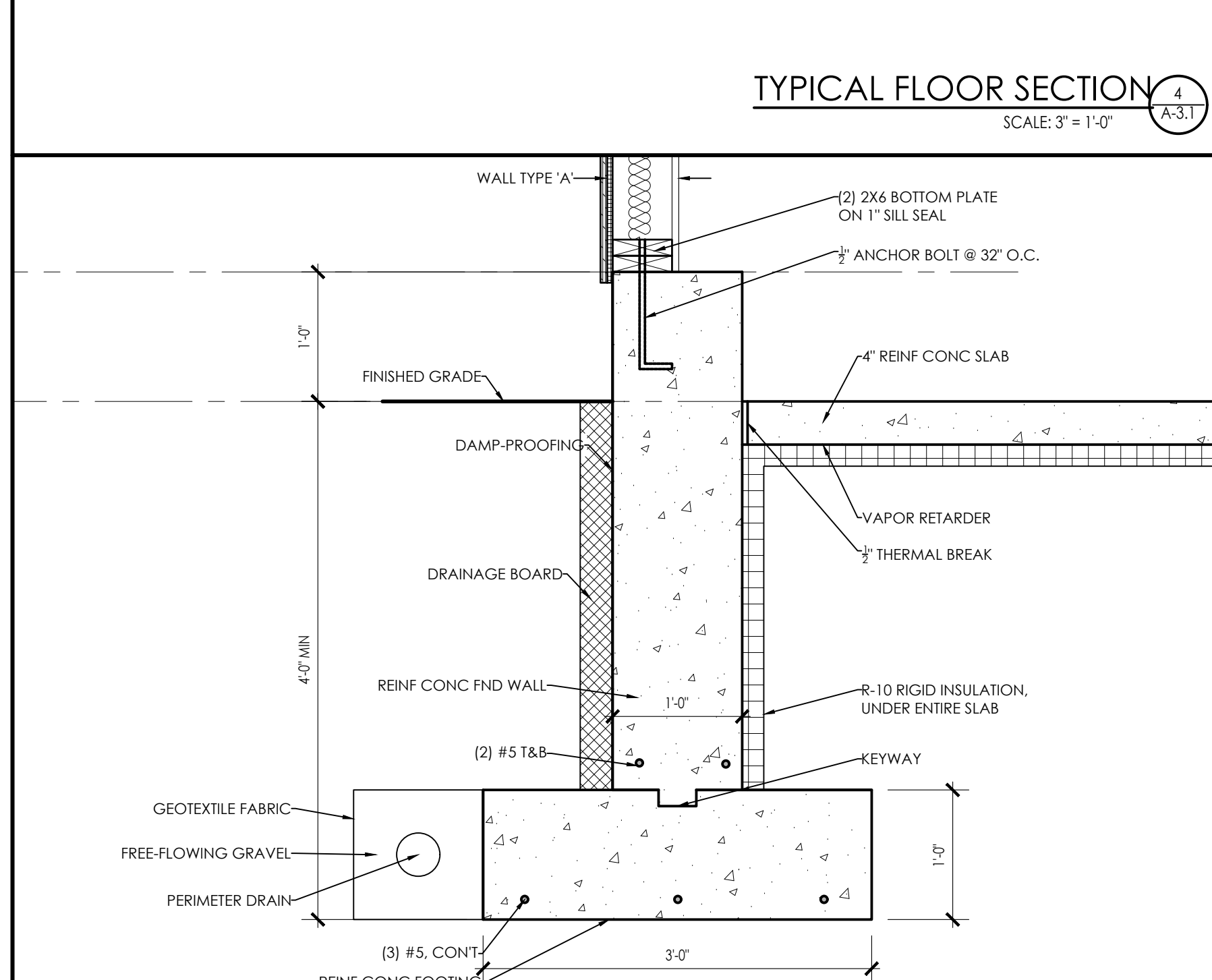
**BUILDING SECTION 1**  
 SCALE: 3/8" = 1'-0"  
 A-3.1



**TYPICAL EAVE DETAIL 3**  
 SCALE: 1" = 1'-0"  
 A-3.1



**TYPICAL FLOOR SECTION 4**  
 SCALE: 3" = 1'-0"  
 A-3.1



**TYPICAL FOOTING DETAIL 2**  
 SCALE: 1" = 1'-0"  
 A-3.1

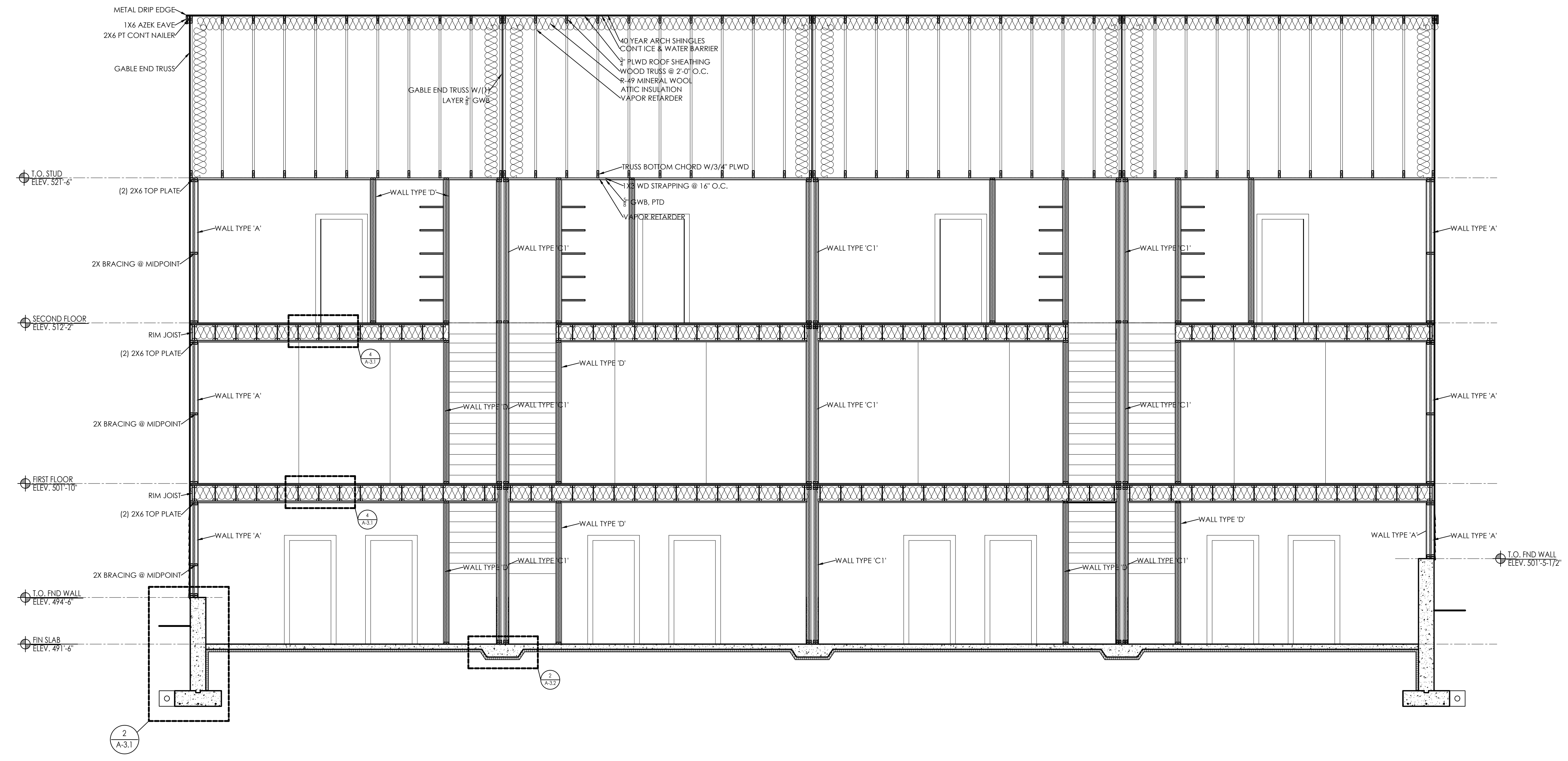


ARCHITECTS STAMP:

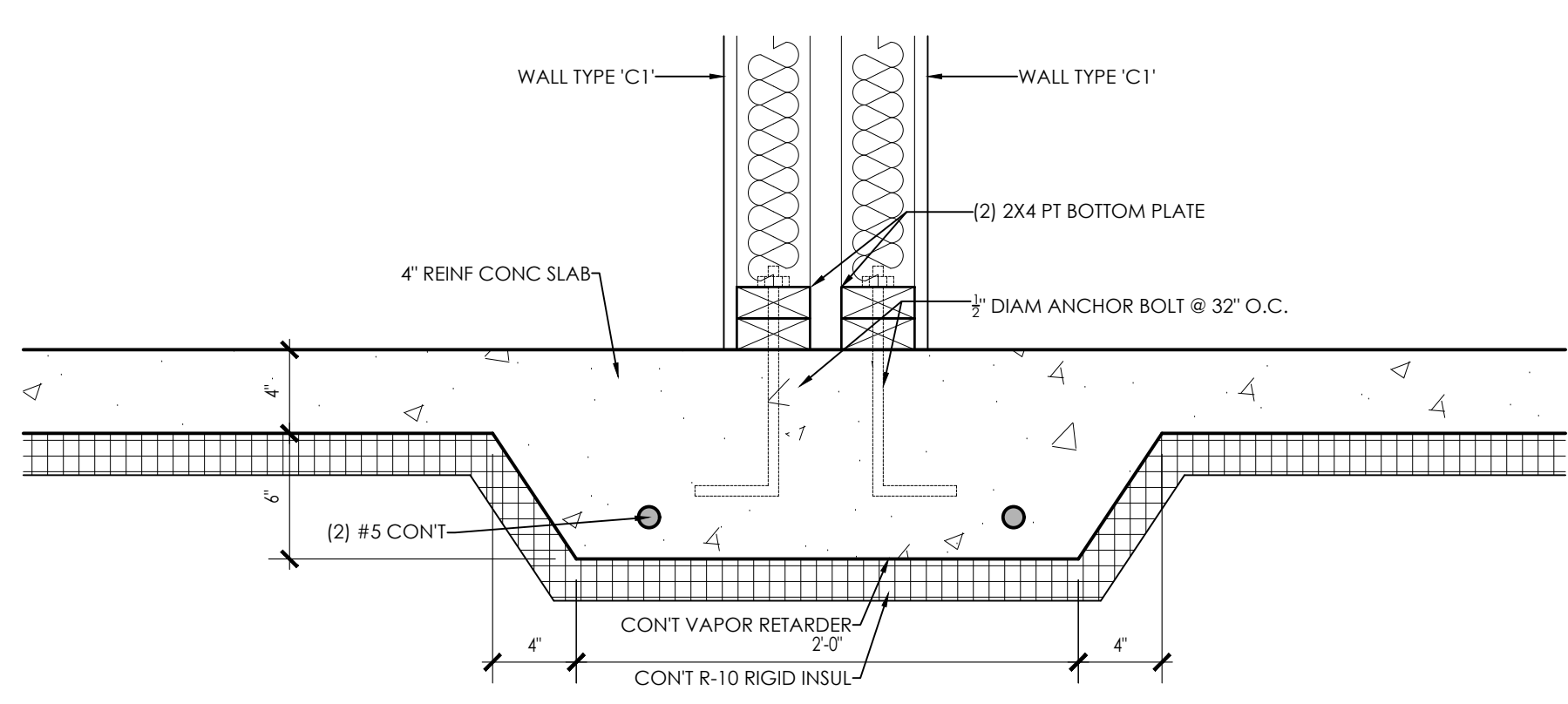
ENGINEER:

ENGINEER'S STAMP:

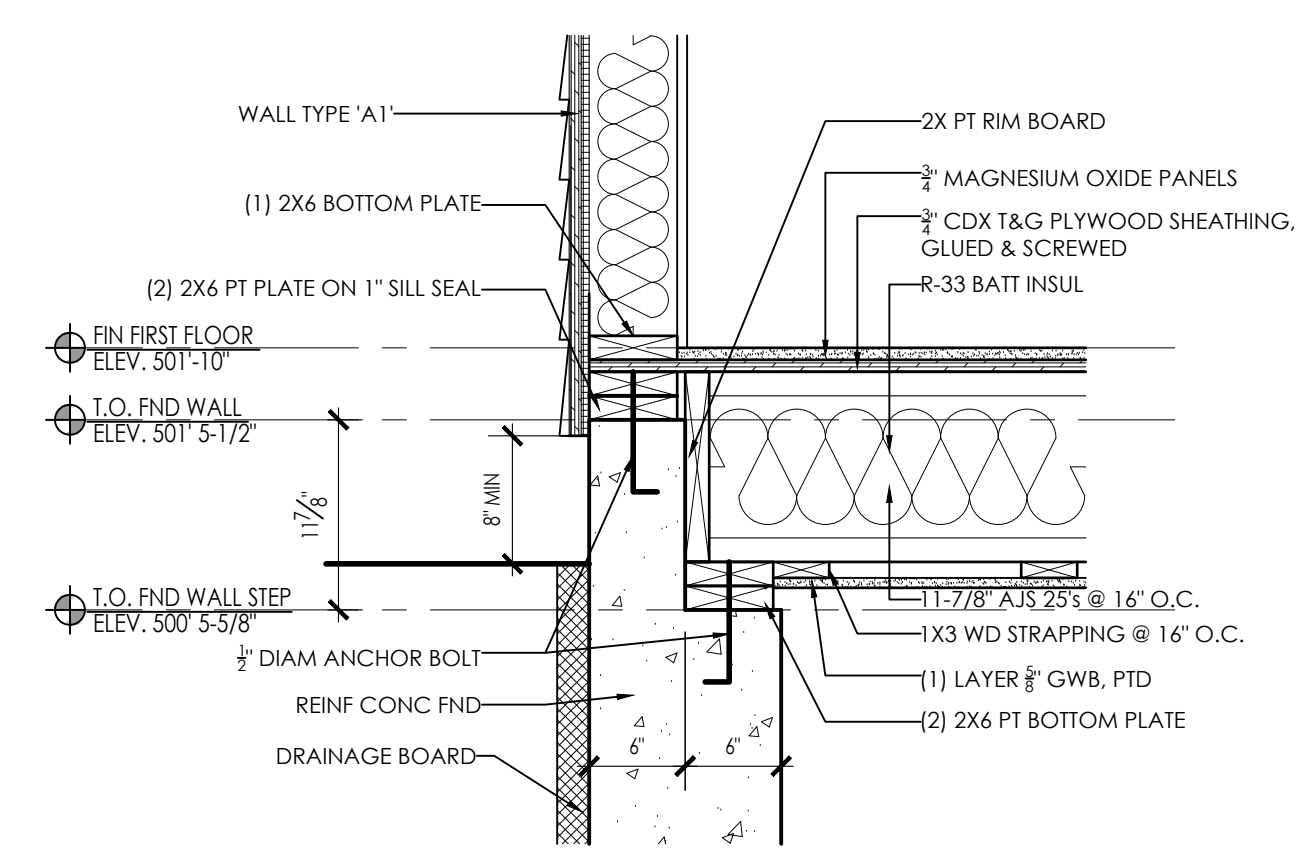
GENERAL INFORMATION:



**BUILDING SECTION 1**  
 SCALE: 1/4" = 1'-0" A-3.2



**HAUNCHED SLAB 2**  
 SCALE: 1-1/2" = 1'-0" A-3.2



**FOUNDATION WALL STEP DETAIL 3**  
 SCALE: 1" = 1'-0" A-3.2

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

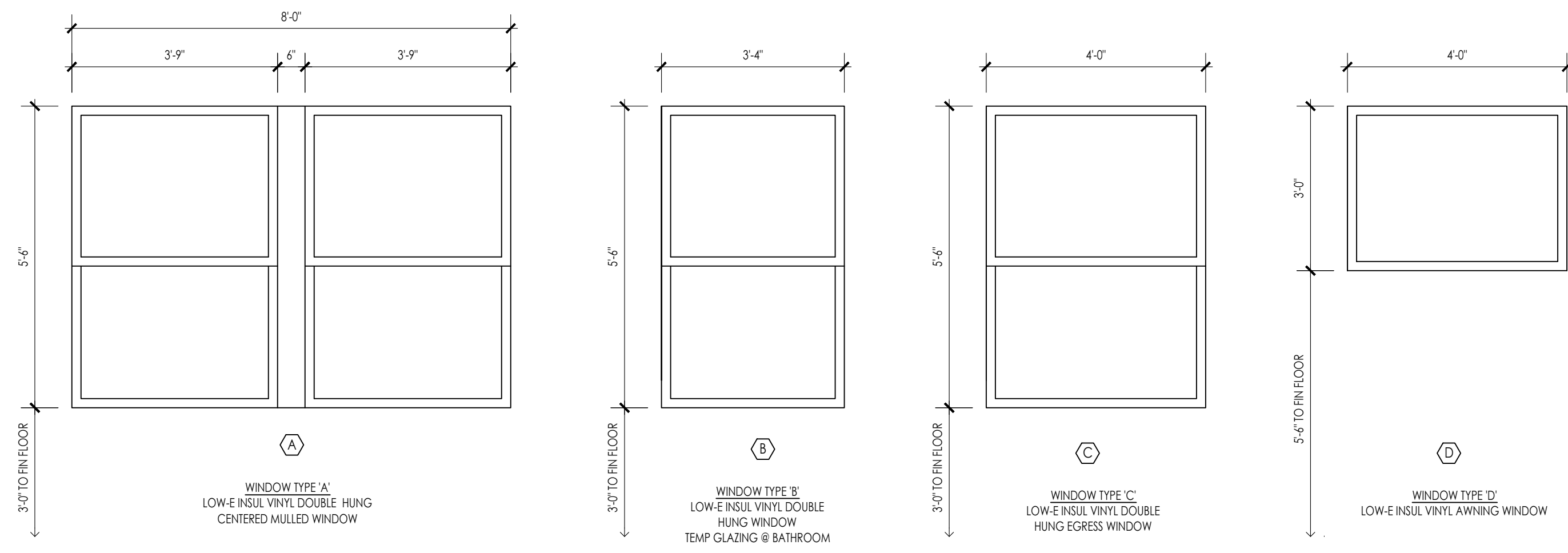
DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 BUILDING SECTION

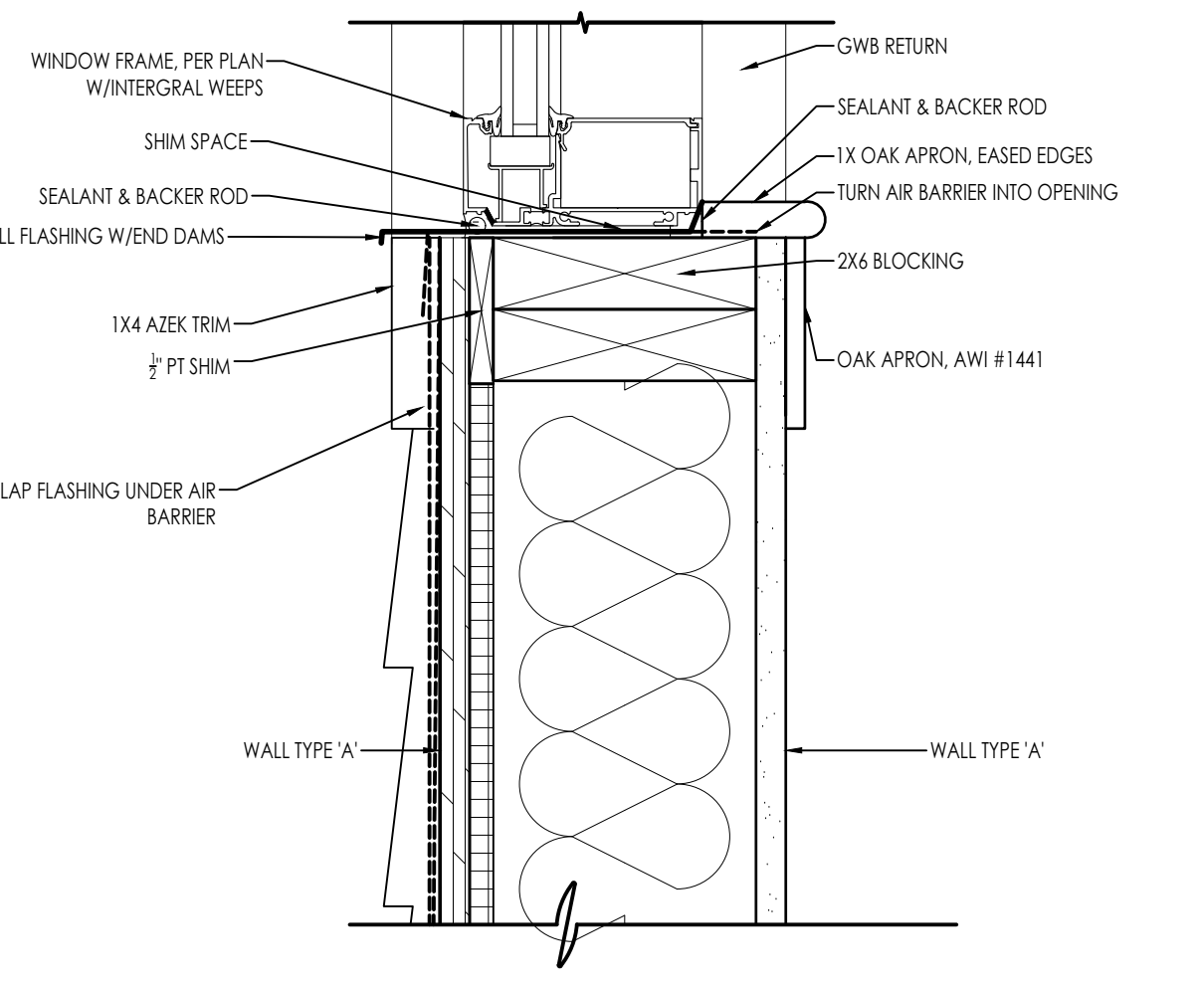
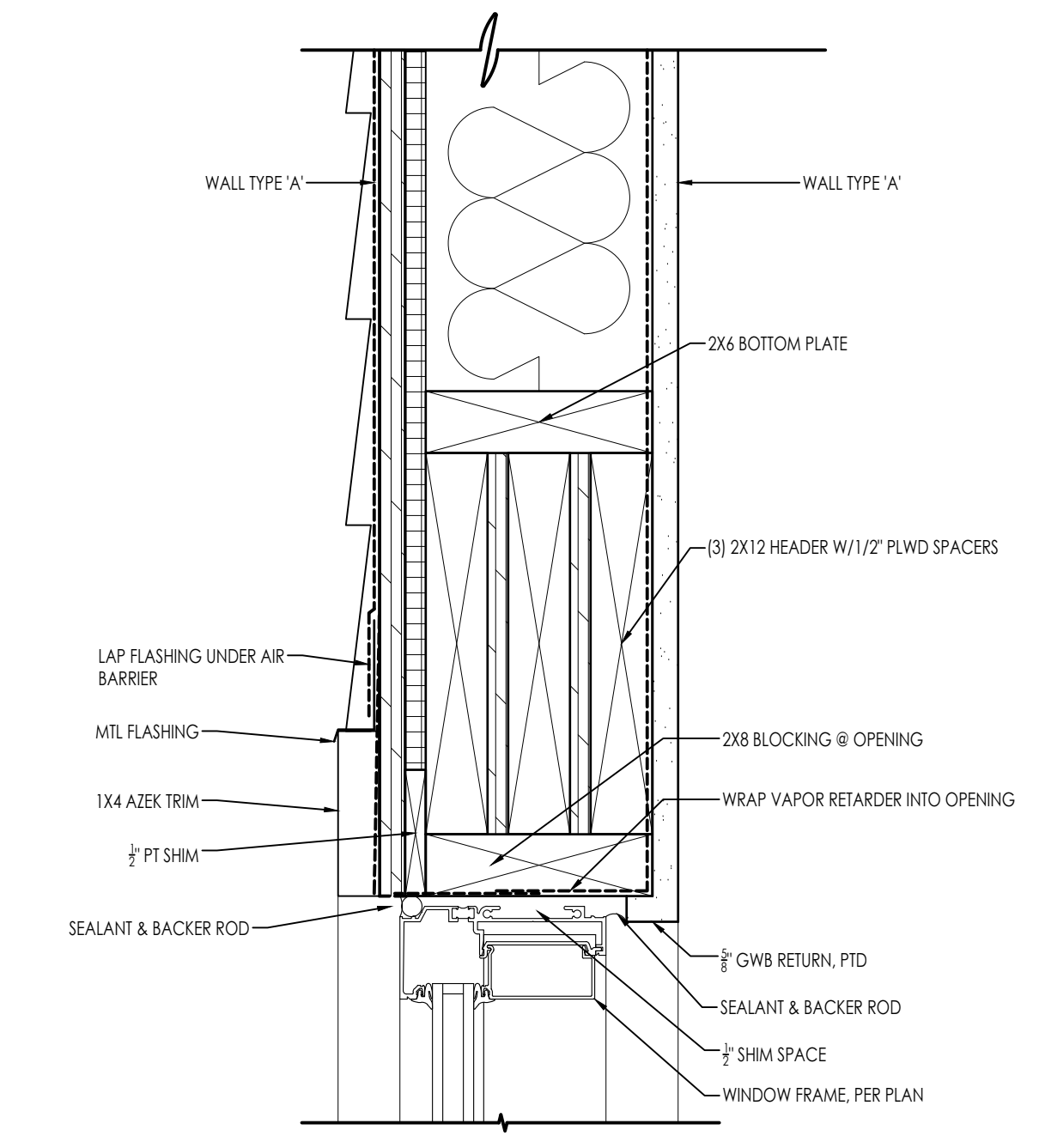
SHEET NUMBER:

**A-3.2**

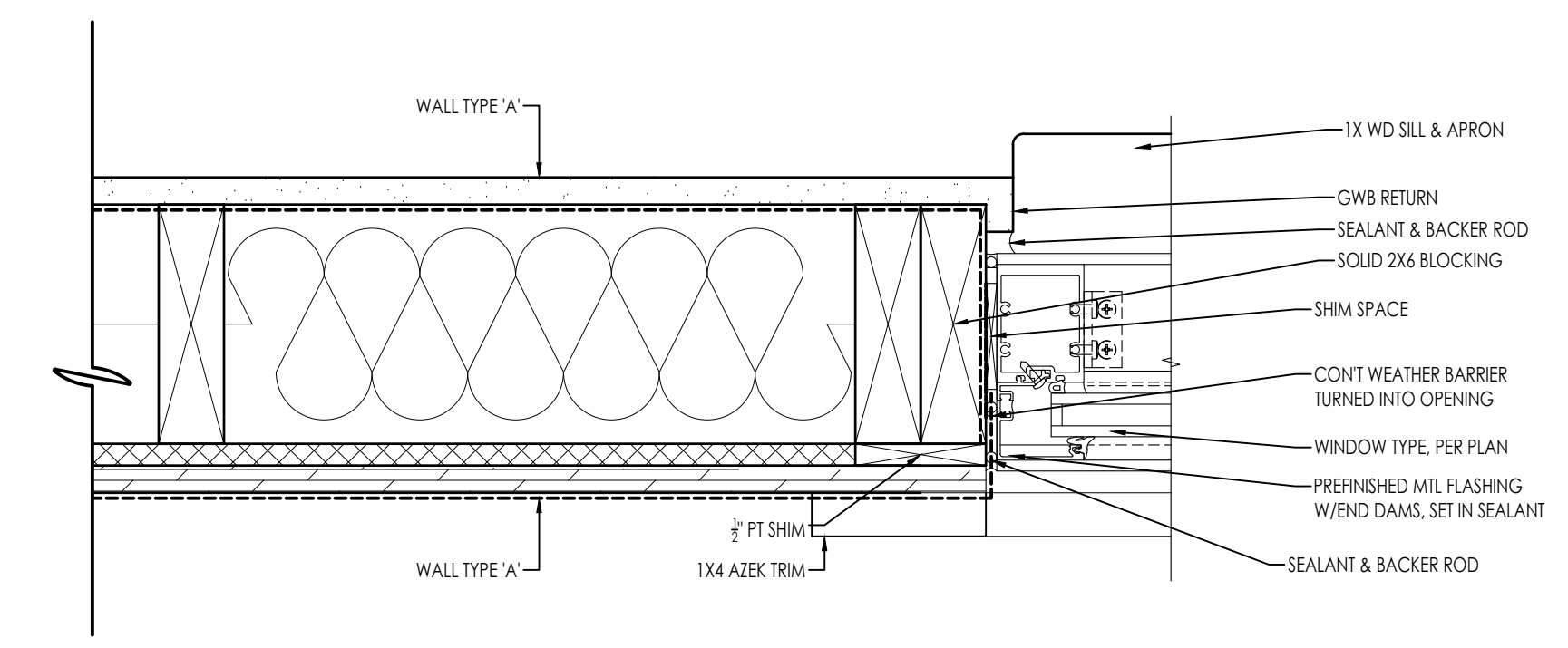


WINDOW TYPE 'A' LOW-E INSUL VINYL DOUBLE HUNG CENTERED MULLED WINDOW  
 WINDOW TYPE 'B' LOW-E INSUL VINYL DOUBLE HUNG WINDOW TEMP GLAZING @ BATHROOM  
 WINDOW TYPE 'C' LOW-E INSUL VINYL DOUBLE HUNG EGRESS WINDOW  
 WINDOW TYPE 'D' LOW-E INSUL VINYL AWNING WINDOW

PROPOSED WINDOW TYPES 1  
 SCALE: 3/4" = 1'-0" A-5.1



TYPICAL WINDOW HEAD AND SILL DETAIL 2  
 SCALE: 3" = 1'-0" A-5.1



TYPICAL WINDOW JAMB DETAIL 3  
 SCALE: 3" = 1'-0" A-5.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	12.16.2022
DESIGN DEVELOPMENT	12.19.2022
BID	N/A
PERMIT	03.21.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	WINDOW ON END WALLS - 10.23.2023
1	GARAGE DOOR LOCATION - 08.18.2023
	REVISION DATE

DATE:	10.23.2023
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:  
 PROPOSED MULTI-FAMILY  
 53 MASON STREET  
 WORCESTER, MA 01610

SHEET TITLE:  
 PROPOSED WINDOW TYPES & DETAILS

SHEET NUMBER:  
**A-5.1**